

# PATTERSON HOMES AZ, LLC

## POVINELLI RESIDENCE

9805 TALON TRAIL  
FOUNTAIN HILLS, ARIZONA 85268

**PROJECT DESCRIPTION:**  
CONSTRUCT NEW CUSTOM SINGLE FAMILY RESIDENCE.

**ENERGY CODE:**  
NEW AND REMODELED BUILDING AREAS SHALL COMPLY WITH THE FOLLOWING FENESTRATION - 0.40 MAXIMUM U-FACTOR, 0.25 MAXIMUM SHGC, MINIMUM R-13 AT FRAME WALLS AND FLOORS, R-6 AT MASS WALLS OR R-13 IF LOCATED ON INTERIOR SIDE, R-38 AT CEILINGS. DUCT INSULATION LOCATED OUTSIDE THE BUILDING AREA REQUIRES MINIMUM R-8 AND R-6 WHEN LOCATED IN FLOOR JOIST (IF APPLICABLE). MINIMIZE AIR LEAKAGE PER IECC 402.4

**ATTENTION !**  
GILBERT STRUCTURAL, LLC WILL NOT BE HELD RESPONSIBLE FOR LAYOUT OR BUILDING ERRORS DUE TO THE USE OF THESE DRAWINGS. THE OWNERS MUST VERIFY ALL DIMENSIONS AND LAYOUTS PRIOR TO CONSTRUCTION.

**DRAINAGE NOTE:**  
A COMMON CAUSE OF SOIL PROBLEMS IN THIS VICINITY OF A CONCRETE FOUNDATION IS MOISTURE INCREASE IN SOILS BELOW STRUCTURES. THEREFORE, IT IS EXTREMELY IMPORTANT THAT POSITIVE DRAINAGE BE PROVIDED DURING CONSTRUCTION AND MAINTAINED THROUGHOUT THE LIFE OF THE STRUCTURE. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION. IT IS ALSO IMPORTANT THAT PROPER PLANNING AND CONTROL OF ANY LANDSCAPE AND IRRIGATION PRACTICES BE PERFORMED. BACKFILL AGAINST FOOTINGS, EXTERIOR WALLS, AND IN UTILITY AND SPRINKLER LINE TRENCHES SHOULD BE WELL COMPACTED AND FREE OF CONSTRUCTION DEBRIS TO MINIMIZE THE POSSIBILITY OF MOISTURE INFILTRATION.

IN AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN THE STRUCTURE, PROTECTIVE SLOPES SHOULD BE PROVIDED WITH AN OUTFALL OF 5 PERCENT FOR AT LEAST 10 FEET FROM PERIMETER WALLS OR OTHER APPROVED DRAINAGE SCUPPERS AND DRAIN PIPES SHOULD BE DESIGNED TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURES FOR A MINIMUM OF 5 FEET. IF PLANTERS AND/OR LANDSCAPING ARE ADJACENT TO OR NEAR THE STRUCTURES, WE RECOMMEND THE FOLLOWING:

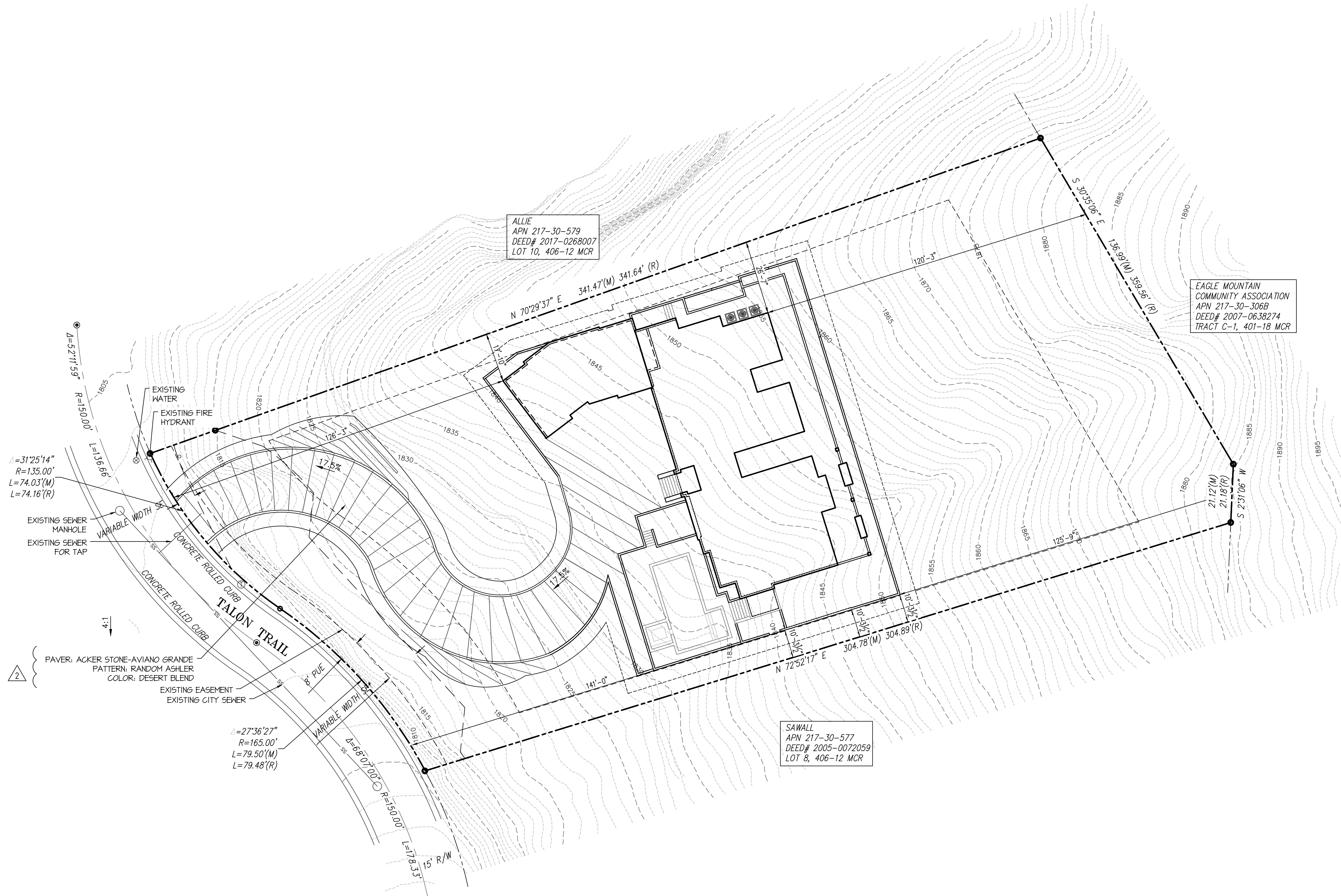
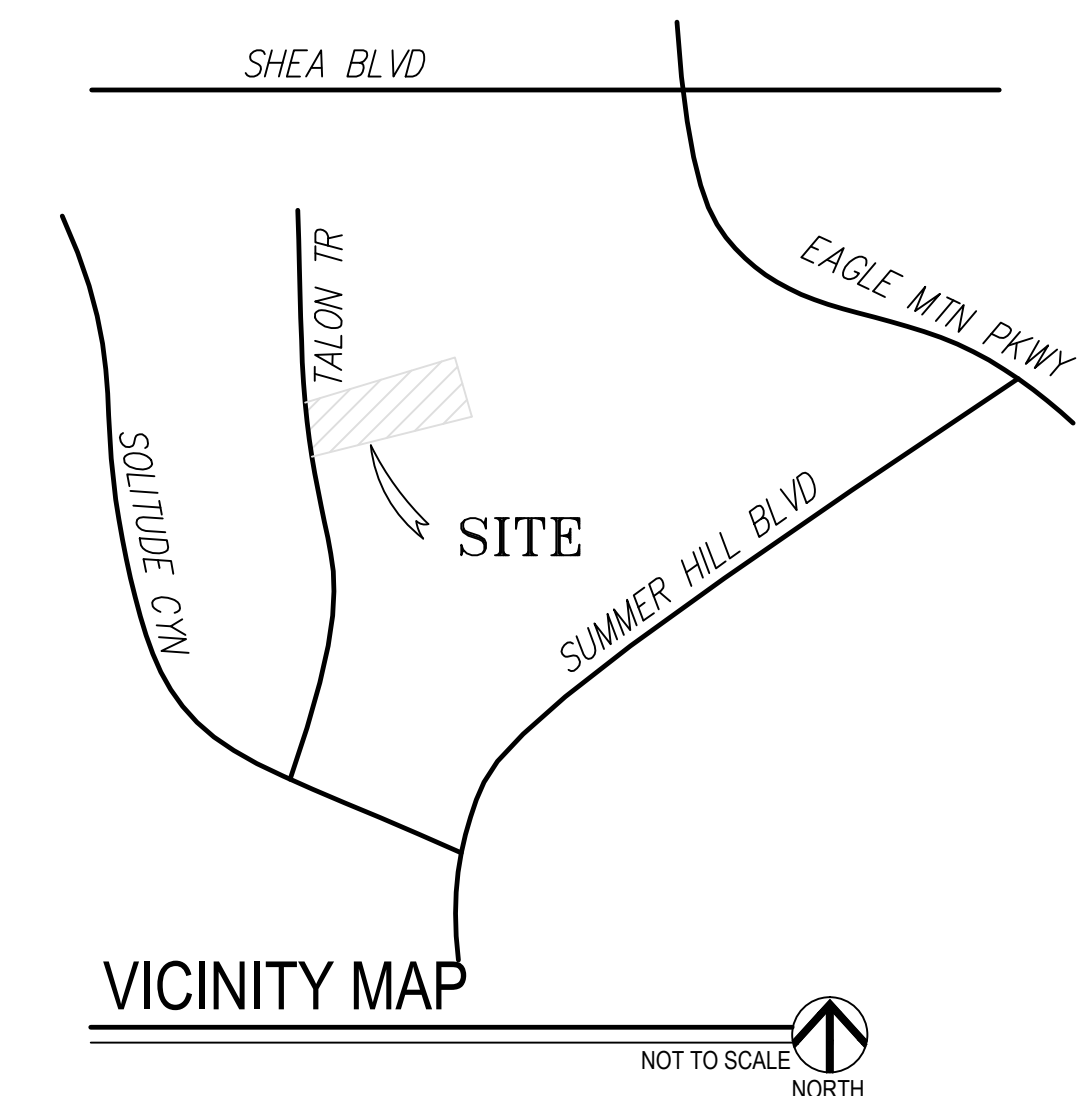
- GRADES SHOULD SLOPE AWAY FROM THE STRUCTURES.
- PLANTERS SHOULD SLOPE AWAY FROM THE STRUCTURES AND SHOULD NOT POND WATER. DRAINS SHOULD BE INSTALLED IN ENCLOSED PLANTER TO FACILITATE FLOW OUT OF THE PLANTERS.
- ONLY SHALLOW ROOTED LANDSCAPING SHOULD BE USED.
- WATERING SHOULD BE KEPT TO A MINIMUM. IRRIGATION SYSTEMS SHOULD BE SITUATED ON THE FAR SIDE OF ANY PLANTING AND AWAY FROM THE STRUCTURES TO REDUCE INFILTRATION BENEATH FOUNDATIONS FROM POSSIBLE LEAKS.
- TRESS SHOULD BE PLANTED NO CLOSER THAN A DISTANCE EQUAL TO ONE-HALF THEIR MATURE HEIGHT OR TEN FEET, WHICHEVER IS GREATER.
- MAINTAIN EXISTING GRADING AND DRAINAGE ROUTES ON SITE.
- FINISH FLOOR ELEVATIONS ARE GRANDFATHERED IN TO MATCH THE EXISTING LEGALLY ESTABLISHED FINISH FLOOR ELEVATION OF THE DWELLING UNIT.
- THE FLOOR IN THIS SPACE IS EXISTING. THE OWNER HAS CHOSEN TO CONVERT THE NON-LIVABLE SPACE TO LIVABLE SPACE AND AFFIRMS THE FINISH FLOOR ELEVATION IS ADEQUATE.
- THE PERMITTED STRUCTURE SHALL NOT AFFECT THE DRAINAGE TO NEIGHBORING LOTS.

IT SHOULD BE UNDERSTOOD THAT THESE RECOMMENDATIONS WILL HELP MINIMIZE THE POTENTIAL FOR SOIL MOVEMENT AND RESULTING DISTRESS, BUT WILL NOT ELIMINATE THIS POTENTIAL.

**FINISHED FLOOR CERTIFICATION:**

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

**SITE, SURVEY AND G&D NOTES**  
SURVEY AND GRADING AND DRAINAGE BY OTHERS. REFER TO SEPARATE SURVEY BY ARIZONA SURVEYORS, PROJECT NUMBER 9805 TALON TR, DATED APRIL 12, 2021.



**ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 20'-0" NORTH

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION							
COMMUNITY NUMBER	COMMUNITY MAP NUMBER	PANEL NUMBER	PANEL DATE	SUFFIX	FIRM INDEX DATE	FIRM ZONE	BASE FLOOD ELEVATION (A0 ZONE, USE DEPTH)
040135	04013C	1785	10-16-2013	L	1-15-2021	D	N/A

KEYNOTES	
<b>SITE INFORMATION</b>	
LOT 9 AT EAGLE MOUNTAIN PARCEL 5	
OWNER:	KEVIN AND SHARON POVINELLI 9894 EAST SANDY VISTA DRIVE SCOTTSDALE, AZ 85262
BUILDER:	PATTERSON HOMES AZ, LLC 16424 N 91ST ST SCOTTSDALE, AZ 85260
DESIGNER:	GILBERT STRUCTURAL, LLC WILLIAM GILBERT 2003 EAST 5TH STREET #4 TEMPE, AZ 85281 602-821-2335 BILL@GILBERTSTRUCTURAL.COM
PARCEL NUMBER:	217-30-978
LOT AREA:	48,345 SQ. FT.
GC:	-
ST/R:	29 IN 6E
ZONE:	R1-HA
MCR:	406-12
<b>LEGAL DESCRIPTION:</b> LOT 9, EAGLE MOUNTAIN PARCEL 5, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 406 OF MAPS, PAGE 12.	
<b>NEW BUILDING AREAS:</b>	
MAIN HOUSE	= 4,180 SQ. FT.
NEW GARAGE	= 1,220 SQ. FT.
NEW COVERED PATIO 1	= 455 SQ. FT.
NEW COVERED PATIO 2	= 42 SQ. FT.
NEW COVERED PORCH	= 74 SQ. FT.
TOTAL NEW	= 6,021 SQ. FT.
<b>SHEET INDEX</b>	
SHEET - SHEET NAME	
A0.0	- COVER SHEET / ARCH SITE PLAN
A1.0	- FLOOR PLAN
A2.0	- DIMENSIONED FLOOR PLAN
A3.0	- ROOF PLAN
A4.0	- BUILDING ELEVATIONS
A4.1	- BUILDING ELEVATIONS
A5.0	- BUILDING SECTIONS
M11	- MECHANICAL PLAN
M21	- MECHANICAL NOTES & CALCUS
P1.0	- PLUMBING WASTE ISOMETRIC
E1.0	- ELECTRICAL DETAILS
E1.1	- ELECTRICAL LAYOUT PLAN
GSN	- GENERAL STRUCTURAL NOTES
S1.0	- STRUCTURAL FOUNDATION PLAN
S2.0	- STRUCTURAL FRAMING PLAN
S3.0	- STRUCTURAL SHEARWALL PLAN
SD1	- STRUCTURAL DETAILS
SD2	- STRUCTURAL DETAILS
<b>BOUNDARY AND TOPOGRAPHIC SURVEY</b>	
GRADING AND DRAINAGE PLAN 1 OF 5	
GRADING AND DRAINAGE PLAN 2 OF 5	
GRADING AND DRAINAGE PLAN 3 OF 5	
GRADING AND DRAINAGE PLAN 4 OF 5	
GRADING AND DRAINAGE PLAN 5 OF 5	
NP11	- NATIVE PLANT SURVEY
LL1	- LANDSCAPE PLAN
<b>FIRE SPRINKLERS</b>	
FIRE SPRINKLERS ARE REQUIRED	

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PROFESSIONAL SEAL

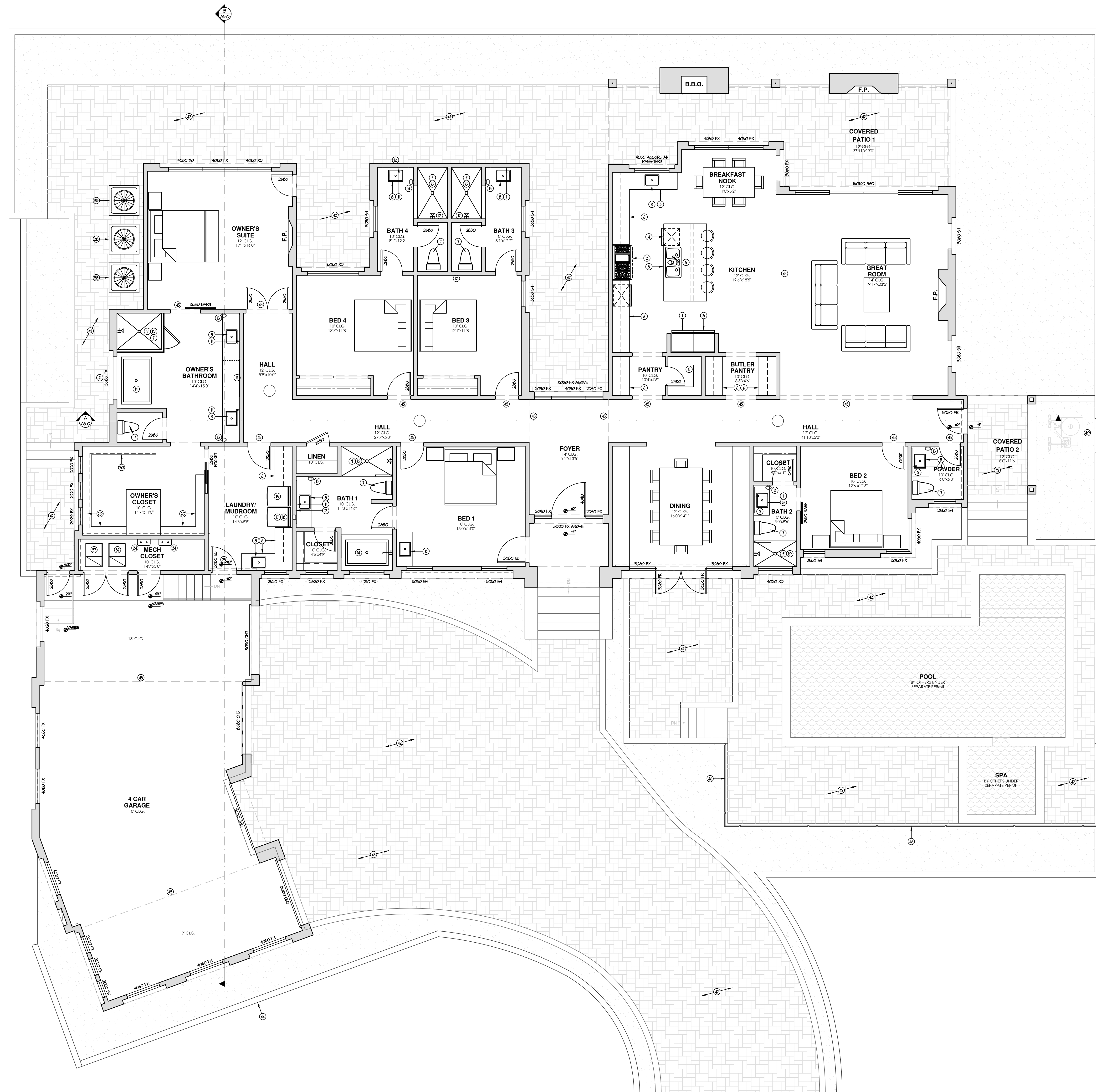
REVISIONS	
1	CITY COMMENTS 10.6.2022
2	HDA COORDINATION 1.19.2023
3	OWNER CHANGES 11.XX.2024
PROJECT NUMBER: 1	
DATE: 8.16.2022	

SHEET TITLE:  
**COVER SHEET AND SITE PLAN**

SHEET NUMBER:  
**A0.0**

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF GILBERT STRUCTURAL, LLC AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT WAS PREPARED AND PUBLICATION HEREOF IS EXPRESSLY FORBIDDEN. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF GILBERT STRUCTURAL, LLC.





- GENERAL INFORMATION**
- ALL EXTERIOR DOORS AND WINDOWS TO BE STANDARD HEIGHT W/ STANDARD FRAMED OPENINGS UNDO ON PLAN
  - WALL FRAMING - UNDO ON PLAN  
EXTERIOR WALLS - 2x4 AT 16" O.C. UNDO ON PLAN  
INTERIOR WALLS - 2x4 AT 16" O.C. UNDO ON PLAN  
INTERIOR PARTITIONS - 2x4 AT 24" O.C. UNDO ON PLAN  
ALL SHEARWALLS ARE TO BE CONSTRUCTED WITH 2x STUDS SPACED AT 16" O.C.
  - PROVIDE ADDITIONAL DRYWALL FOR DIMENSION DEVIATION WHEN SHEAR WALL IS INSTALLED.
  - INSULATION  
R-38 BLOWN IN ATTIC - UNDO ON PLAN  
R-19 BATT AT EXT. 2x4 WALLS - UNDO ON PLAN  
R-19 BATT AT EXT. 2x4 WALLS - UNDO ON PLAN  
PROVIDE R-5 BATT, 2x4 WALL OR R-19 BATT 2x4 WALL INSULATION BETWEEN GARAGE AND ALL LIVABLE SPACES.
  - FOR GAS APPLIANCES AND FIXTURES PROVIDE COMBUSTION AIR AND VENTILATION AIR PER I.R.C. SECTION G2407 AND MANUFACTURERS RECOMMENDED CLEARANCES.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILING IN GARAGE AND ON LEASE SPACE UNDER STAIRS PER CITY REQUIREMENTS.
  - PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO AND PORCH CEILINGS - TYPE AND TEXTURE PER PROJECT SPEC'S.
  - MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM EGRESS WINDOWS - I.R.C. SECTION R301.
  - WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 5/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" GAG RESISTANT GYP. BOARD SHALL BE USED - ESR #338
  - PENETRATIONS THRU SEPARATION WALLS SHALL BE PROTECTED BY FILING OPENING AROUND PENETRATING ITEM WITH APPROVED FIRECALLK - I.R.C. SECTION R302.4
  - WALL BRACINGS TO COMPLY WITH I.R.C. SECTION R602.01 AND TABLE R602.03 UNLESS BRACED WALL SYSTEM SHOWN.
  - DOUBLE ALL BEARING WALLS STUDS PENETRATED BY PLUMBING WASTE AND/OR VENT LINES - TYPICAL.

**KEYNOTES**

No.	DESCRIPTION
1	REFRIGERATOR RIGHT - PRE-PLUMB FOR WATER TAP
2	RANGE AND OVEN WITH HOOD ABOVE - HOOD EXHAUST AT +7'
3	DOUBLE SINK WITH DISPOSAL
4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. SEC. P217
5	ISLAND COUNTERTOP WITH 36" DEEP BASE CABINETS WITH 12" OVERHANGS
6	BASE AND UPPER CABINETS
7	WATER CLOSET PROVIDE A MIN. 6" ON EACH SIDE AND 24" MIN. CLEAR IN FRONT - I.R.C. SEC. R307
8	SINK
9	SHOWER FLOOR DRAIN
10	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER WITH TILE, MARBLE OR EQ. TO +72" ABOVE CURB OR DRAIN OF SHOWER - I.R.C. SEC. R302.4
11	42" HIGH MIRROR IN MASTER BATHROOM AND ALL SECONDARY BATHROOMS - UNDO ON PLAN
12	2-6 PLUMBING WALL
13	TOWEL BAR AT +54" OR TOWEL RING AT +54"
14	FREE-STANDING TUB PER OWNER
15	FREEZER LEFT - PRE-PLUMB FOR ICE MAKER
16	WASHER - WASHER ALWAYS LEFT OF DRYER
17	DRYER
18	40" DRYER VENT THROUGH ROOF - NOT TO EXCEED 6'0" PER I.R.C. SEC. G160.6, G160.7 AND G160.8. PROVIDE LABELS WITHIN 6' STATING SIZE AND DEV. LENGTH
19	5" SHELVES EQUALLY SPACED - 18" DEEP UNLESS OTHERWISE SHOWN / NOTED ON PLAN
20	1 ROD, 1 SHELF
21	TEMPERED GLASS
22	ELECTRIC PREPLACE PER OWNER
23	TILE FINISH AROUND PREPLACE PER OWNER
24	ELECTRIC TANKLESS WATER HEATER PER OWNER WITH 1/4" P RELIEF VALVE AT +6" ABOVE FINISH GRADE
25	MINIMUM OF 1 3/8" SOLID CORE WITH SELF CLOSER, SELF LATCHING, AND TIGHT FITTING GASKETS AND SWEEP PER I.R.C. SEC. R302.5
26	4" TIRE STOP
27	5/8" TYPE "X" GYPSUM BOARD OVER WALLS AND CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 102.3.5
28	14"x8" SCREENED COVERED METAL AIR VENTS - ONE +12" A.F.F. AND ONE 12" BELOW CEILING
29	22,300 ATTIC SCUTTLE - PROVIDE TYPE "X" GYP. BD. AT GARAGE SIDE AND WEATHERSTRIPPING - I.R.C. SEC. R307
30	MIN. 5" THICK CONC. STOOOP OR PAVERS AT OPENING
31	MISCELLANEOUS APPLIANCES PER OWNER
32	LINE OF CEILING CHANGE
33	+42" BAR TOP
34	SOLAR TUBE FOR NATURAL LIGHTING
35	FR.V. TO OUTSIDE MIN. 6" ABOVE GRADE
36	HOSE BIB
37	AIR HANDLER - SEE ELECTRICAL SHEET E10
38	AIR CONDENSOR - SEE ELECTRICAL SHEET E10
39	ELECTRIC SERVICE PANEL - SEE ELECTRICAL
40	POOL EQUIPMENT BY OTHERS
41	POOL EQUIPMENT ACCESS GATE
42	PAVER: ACKER STONE-AVAND GRANDE PATTERN RANDOM ASHLER COLOR: BISSSET BLIND
43	GUEST PARKING AREA
44	MASONRY SCREEN WALL FINISH PER SPECIFICATIONS.
45	LINE OF CEILING CHANGE
46	METAL POOL FENCING BY OTHERS - PAINTED BLACK

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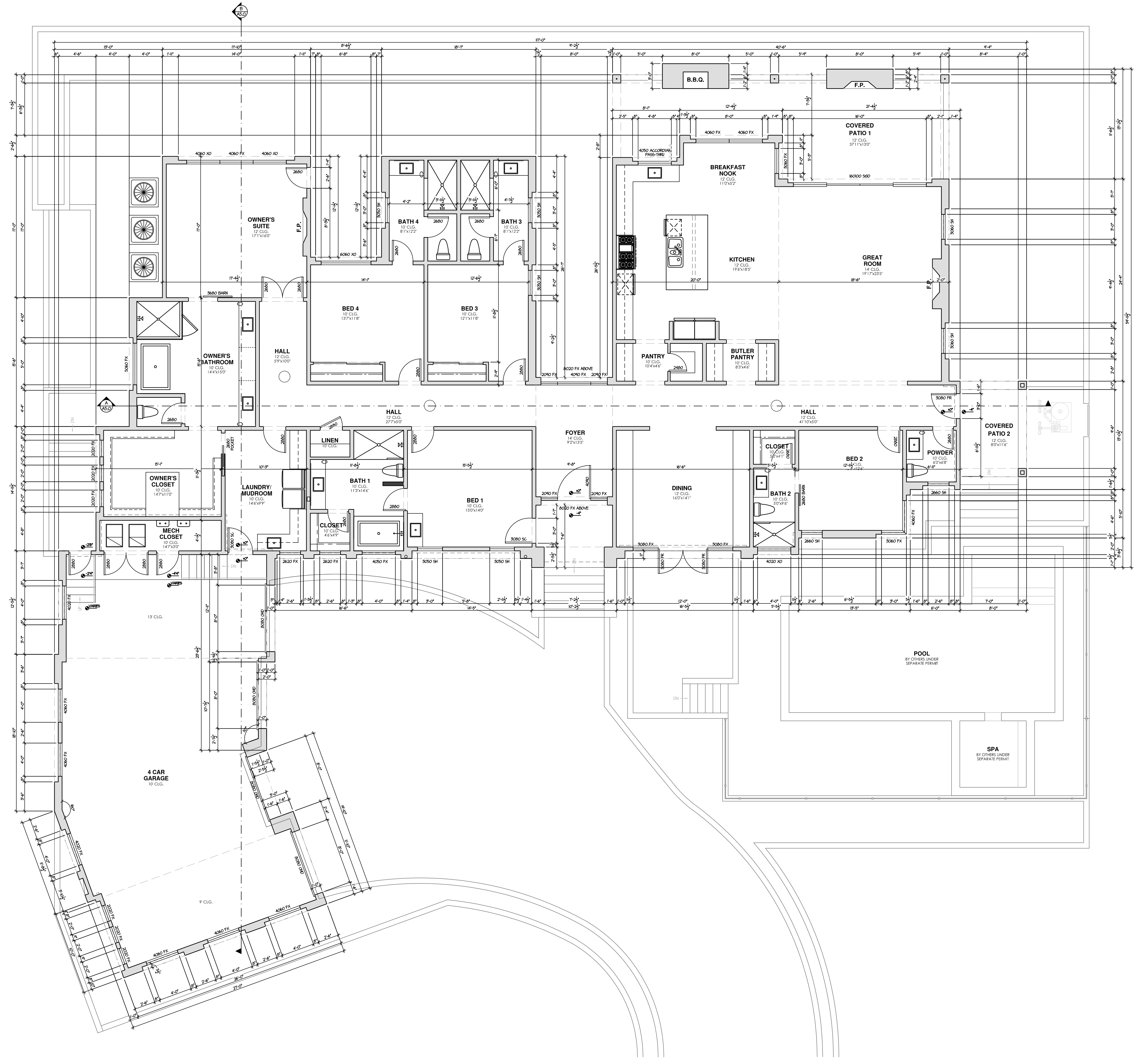
PROFESSIONAL SEAL

REVISIONS

1	CITY COMMENTS	10.6.2022
2	HOA COORDINATION	1.19.2023
3	OWNER CHANGES	11.XX.2024

PROJECT NUMBER: 1  
DATE: 8.16.2022

SHEET TITLE:  
**FLOOR PLAN**  
SHEET NUMBER:  
**A1.0**



- GENERAL PLAN NOTES**
- ALL EXTERIOR DOORS AND WINDOWS TO BE STANDARD HEIGHT W/ STANDARD FRAMED OPENINGS UNDO ON PLAN
  - WALL FRAMING - UNDO ON PLAN  
EXTERIOR WALLS - 2x4 @ 16" O.C. UNDO ON PLAN  
INTERIOR BRG. WALLS - 2x4 @ 16" O.C. UNDO ON PLAN  
INTERIOR NON-BRG. - 2x4 @ 24" O.C. UNDO ON PLAN  
ALL SHEARWALLS ARE TO BE CONSTRUCTED WITH 2x STUDS SPACED AT 16" O.C.
  - PROVIDE ADDITIONAL DRYWALL FOR DIMENSION DEVIATION WHEN SHEAR WALL IS INSTALLED.
  - INSULATION  
R-38 BLOWN IN AT ATTIC - UNDO ON PLAN  
R-5 BATT'S AT EXT. 2x4 WALLS - UNDO ON PLAN  
R-5 BATT'S AT EXT. 2x4 WALLS - UNDO ON PLAN
  - PROVIDE R-5 BATT. 0.4 WALL OR R-5 BATT. 0.4 WALL INSULATION BETWEEN GARAGE AND ALL LIVABLE SPACES.
  - FOR GAS APPLIANCES AND FIXTURES PROVIDE COMBUSTION AIR AND VENTILATION AIR PER I.R.C. SECTION G2407 AND MANUFACTURERS RECOMMENDED CLEARANCES.
  - PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON WALLS AND CEILING IN GARAGE AND ON LEASLE SPACE UNDER STAIRS PER CITY REQUIREMENTS.
  - PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO AND PORCH CEILING - TAPE AND TEXTURE PER PROJECT SPEC'S.
  - MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM EGRESS WINDOWS - I.R.C. SECTION R301.
  - WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 5/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" 5x8 RESISTANT GYP. BOARD SHALL BE USED - ESR #338
  - PENETRATIONS THRU SEPARATION WALLS SHALL BE PROTECTED BY FILING GROUND AROUND PENETRATING ITEM WITH APPROVED FIRECALLK - I.R.C. SECTION R302.4
  - WALL BRACINGS TO COMPLY WITH I.R.C. SECTION R602.101 AND TABLE R602.03 UNLESS BRACED WALL SYSTEM SHOWN.
  - DOUBLE ALL BEARING WALLS STUDS PENETRATED BY PLUMBING WASTE AND/OR VENT LINES - TYPICAL.
  - A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 8" INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOSER THAN 30" INCHES CENTER TO CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE A CLEARANCE OF NOT LESS THAN 21" INCHES IN FRONT OF THE WATER CLOSET, LAVATORY, OR BIDET TO ANY WALL, FIXTURE OR DOOR FOR P203 WATER CLOSETS, LAVATORIES AND BIDETS.
- = SEE DOOR SCHEDULE ON SHEET A10 FOR CONCERNING DOOR INFORMATION

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REVISIONS

1	CITY COMMENTS	10.6.2022
2	HOA COORDINATION	1.19.2023
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4		
5		

PROJECT NUMBER: 1  
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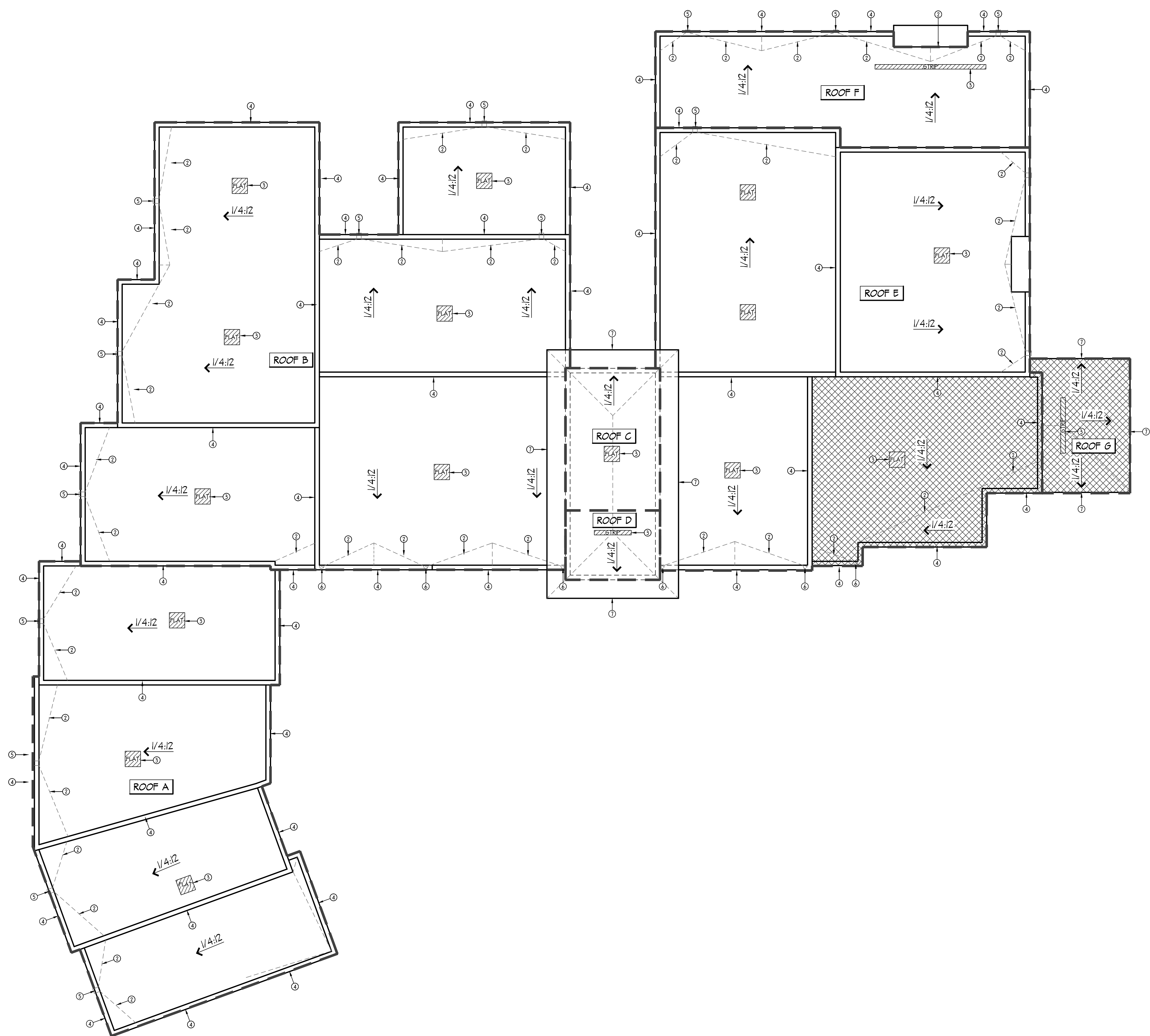
SHEET TITLE:  
**DIMENSIONED FLOOR PLAN**

SHEET NUMBER:

**A2.0**

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GENERAL INFORMATION	
1.	WHERE EAVE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
2.	PROVIDE FIRE BLOCKING AT ALL CEILING LINES AND AT ALL BALCONY FRAMED WALLS OVER 12'-0" - UNO.

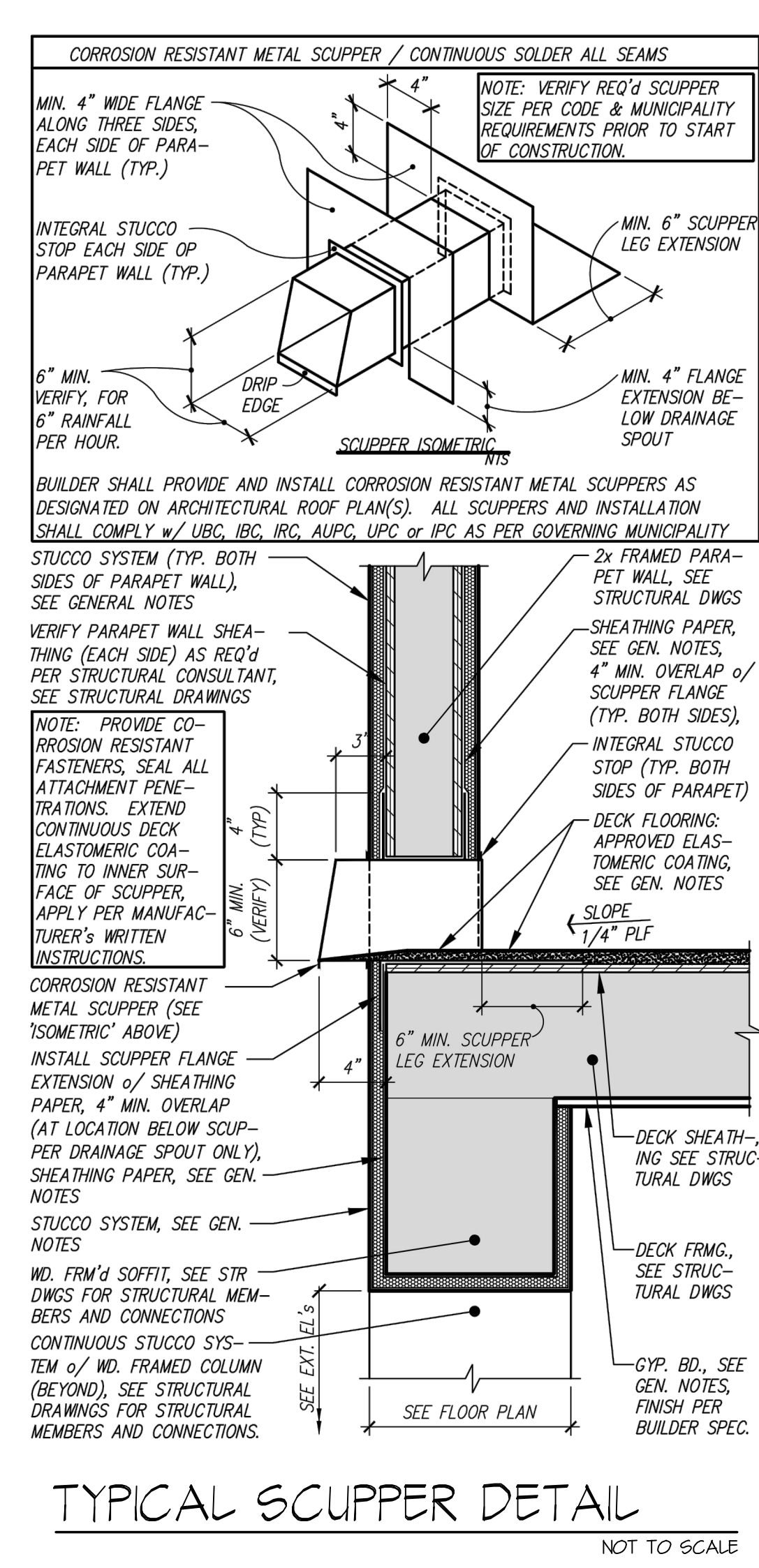
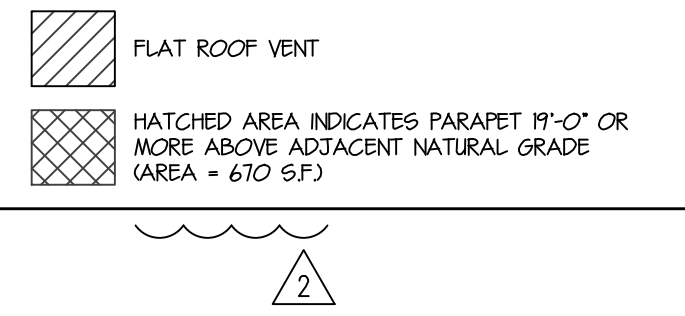
  

SOLAR READY ZONE (UIC3)	
1.	A SOLAR-READY ZONE OF NOT LESS THAN 300 SQUARE FEET IS REQUIRED ON THE ROOF EXCLUSIVE OF MANDATORY ACCESS AND SET BACK AREAS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. THE ZONE SHALL BE FREE FROM OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND ROOF-MOUNTED EQUIPMENT.

KEYNOTES	
1	22" x 30" ATTIC SCUTTLE
2	1/2" PLYWOOD CRICKET - SLOPE PER PLAN
3	FULL SCREENED VENTS - SEE ATTIC VENT CALC'S
4	PARAPET WALL
5	METAL SCUPPER
6	ROOF DRAINS WITH HIDDEN DOWNSPOUTS
7	FRAMED EAVE

ATTIC VENTILATION CALCULATION	
FLAT ROOF AREA A: 1228 S.F. / 150' =	TOTAL REQUIRED: 819 S.F.
MIN @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. =	837 S.F.
TOTAL SUPPLIED AT ROOF A =	837 S.F.
FLAT ROOF AREA B: 285 S.F. / 150' =	TOTAL REQUIRED: 1674 S.F.
MIN @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. =	1674 S.F.
TOTAL SUPPLIED AT ROOF B =	1674 S.F.
FLAT ROOF AREA C: 158 S.F. / 150' =	TOTAL REQUIRED: 105 S.F.
MIN @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. =	279 S.F.
TOTAL SUPPLIED AT ROOF C =	279 S.F.
FLAT ROOF AREA D: 77 S.F. / 150' =	TOTAL REQUIRED: 251 S.F.
PROVIDE 4" WIDE BY 24" LONG STRIP VENT AT PORCH CEILING	
FLAT ROOF AREA E: 1826 S.F. / 150' =	TOTAL REQUIRED: 1217 S.F.
MIN @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. =	1815 S.F.
TOTAL SUPPLIED AT ROOF E =	1815 S.F.
FLAT ROOF AREA F: 482 S.F. / 150' =	TOTAL REQUIRED: 321 S.F.
PROVIDE 4" WIDE BY 144" LONG STRIP VENT AT PATIO CEILING	
FLAT ROOF AREA G: 140 S.F. / 150' =	TOTAL REQUIRED: 274 S.F.
PROVIDE 4" WIDE BY 48" LONG STRIP VENT AT PORCH CEILING	



ROOF PLAN SCALE: 3/16" = 1'-0" NORTH

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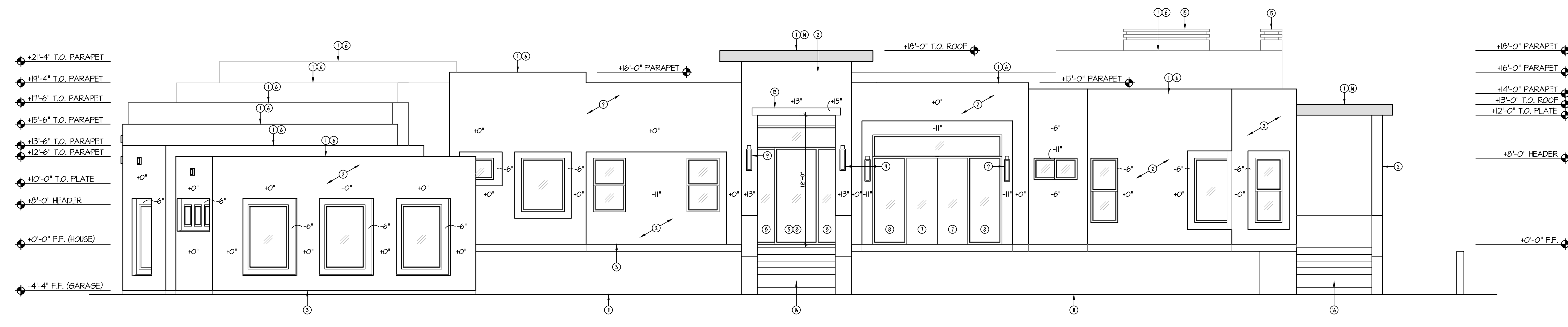
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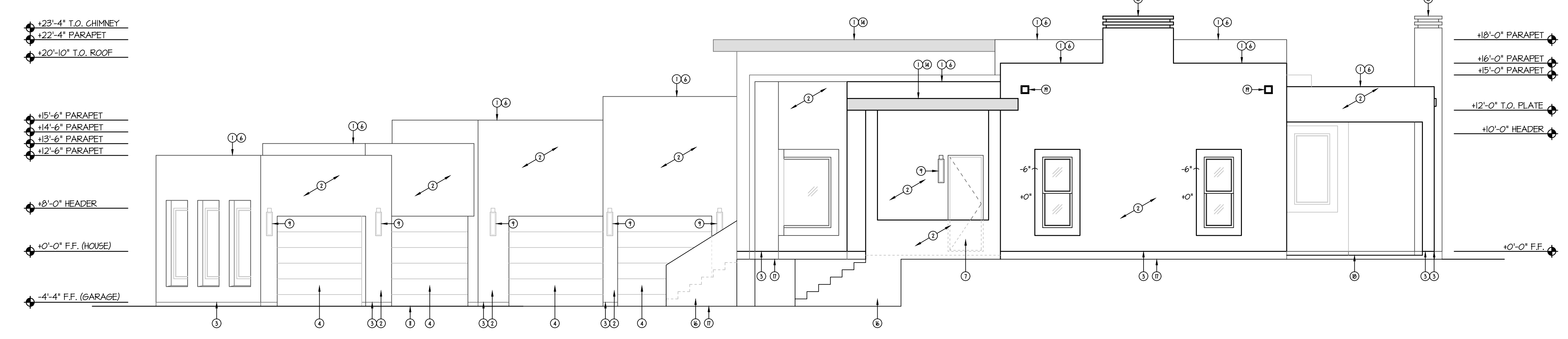
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ROOF PLAN  
 SHEET NUMBER:  
**A3.0**

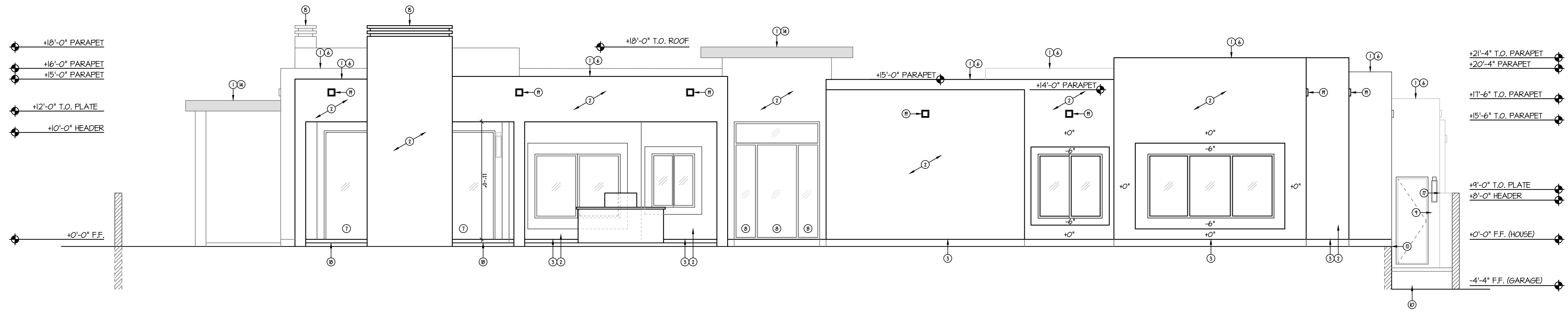




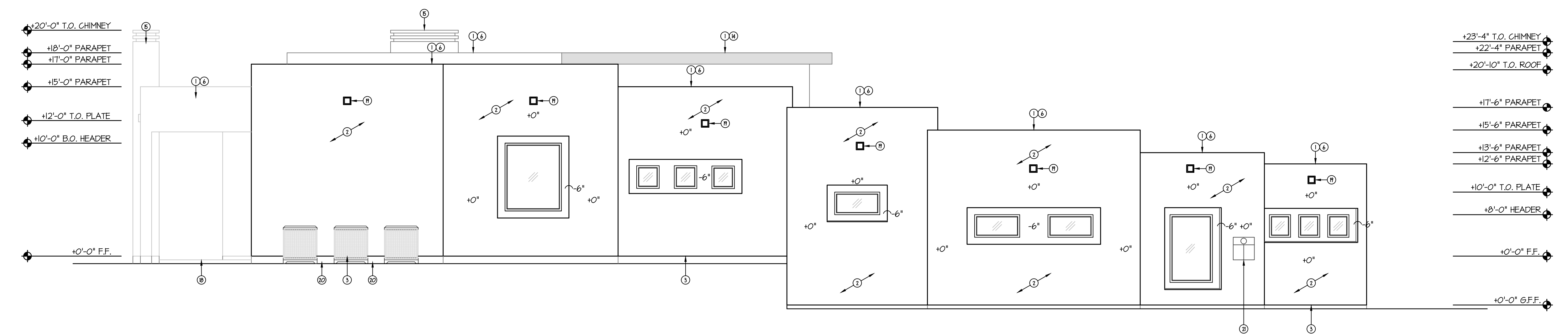
FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"



REAR ELEVATION  
SCALE: 3/16" = 1'-0"



LEFT ELEVATION  
SCALE: 3/16" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-KOTE STUCCO WALL FINISH (I.C.C. 558 #225) OVER RESISTIVE BARRIER OF TYPE IS ASPHALT-SATURATED RAG FELT.
  - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER B.C. SEC. 7005B. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  - WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" AND PLACED A MINIMUM OF 3/4" BELOW FINISHED FLOOR AND A MINIMUM 6" A.F.S. AT ALL EXTERIOR WALLS.
  - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANELS, ETC. TO BE PAINTED TO MATCH HOUSE.
  - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.
  - ALL FOAM POP-OUT PROTECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH UNO.
  - STUCCO NOTES:  
A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.  
B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS.
- NOTE:  
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER.

**KEYNOTES**

No.	DESCRIPTION
1	F FOAM ROOF WITH ELASTOMERIC TOP COAT AND #1 GRANULES.
2	SAN-KOTE STUCCO SYSTEM (E.G. #292) OVER FOAM BOARD (ON AS BOARD AT ATTIC AREAS).
3	WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BUILDING.
4	GARAGE DOOR.
5	ENTRY DOOR.
6	PARAPET WALL.
7	SLIDING DOOR SYSTEM WITH TEMPERED GLASS.
8	WINDOW WITH TEMPERED GLASS.
9	EXTERIOR LIGHTING PER HOA GUIDELINES.
10	GARAGE SIDE / MAN DOOR.
11	DRIVEWAY PAVERS: ACKER STONE-A-MAND GRANDE PATTERN RANDOM ASHLER COLOR: DESERT BLEND.
12	CONCRETE OR PAVER STOOP PER OWNER.
13	STUCCO POP-OUT.
14	SAN-KOTE STUCCO SYSTEM (E.G. #292) FASCIA - PAINTED WITH SHERWIN WILLIAMS URBANE BRONZE (SW7024B).
15	CUSTOM 24 GA. METAL CHIMNEY CAP INSTALLED PER MANUFACTURERS INSTRUCTIONS. PAINTED WITH SHERWIN WILLIAMS URBANE BRONZE (SW7024B).
16	CONCRETE STAIRS.
17	TOP OF RETAINING WALL - SEE STRUCTURAL PLAN.
18	CONCRETE SLAB - SEE STRUCTURAL PLAN.
19	6" SQ. METAL SCUPPER - SEE A.S.D. FOR TYP. DETAIL.
20	CONDENSING UNIT - SEE MECHANICAL PLAN.
21	ELECTRIC SERVICE PANEL SEE ELECTRICAL PLAN.

**POVINELLI RESIDENCE  
CUSTOM HOME**  
9805 TALON TRAIL  
FOUNTAIN HILLS, ARIZONA 85268

Gilbert Structural LLC  
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Office (480) 398-8144

PROFESSIONAL SEAL

**REVISIONS**

NO.	DESCRIPTION	DATE
1	CITY COMMENTS	10.6.2022
2	HOA COORDINATION	1.19.2023
3	OWNER CHANGES	11.XX.2024

PROJECT NUMBER:  
DATE: 8.16.2022

SHEET TITLE:  
**BUILDING ELEVATIONS**

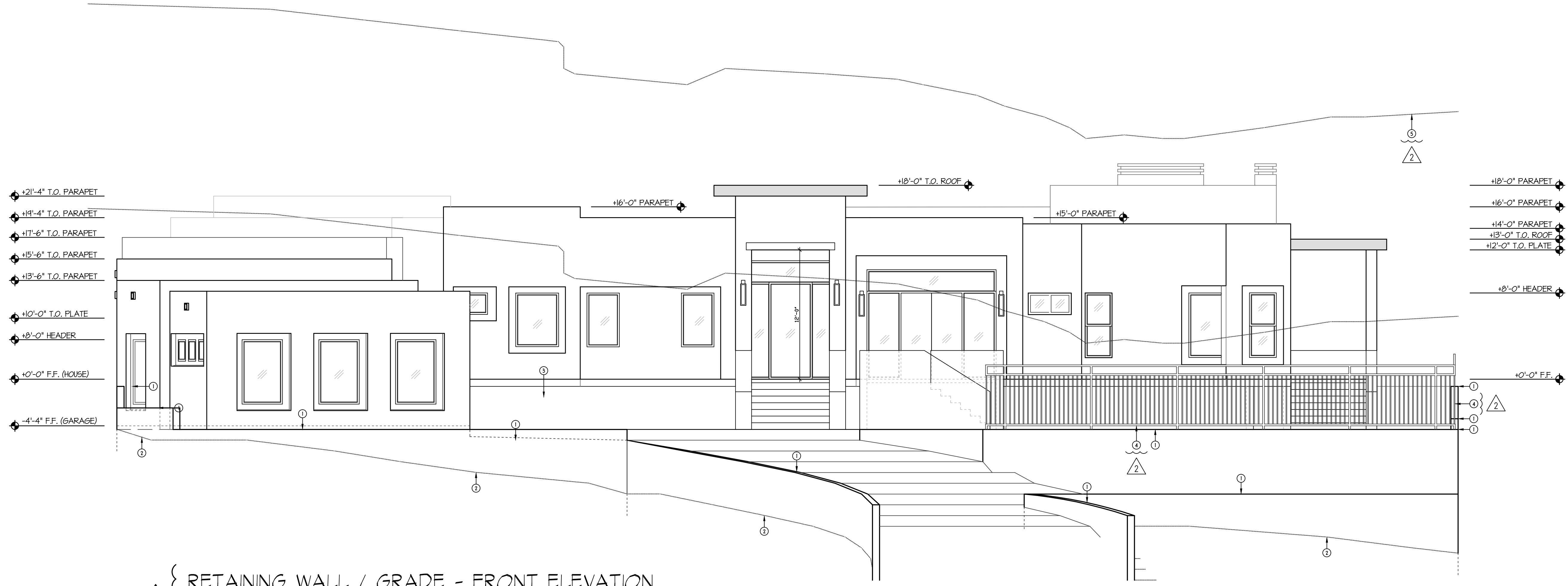
SHEET NUMBER:  
**A4.0**

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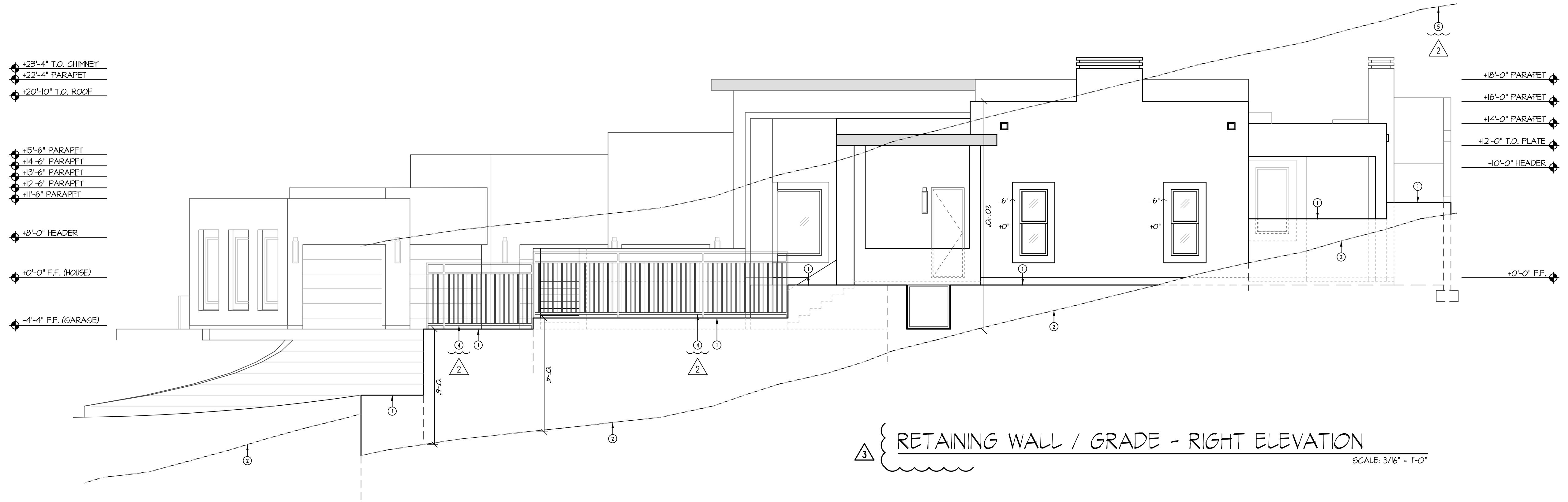
- GENERAL INFORMATION**
- WESTERN ONE-COTE STUCCO WALL FINISH (2.2.2. 65R) #7291 OVER RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
  - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER B.C. SEC. R702.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  - WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 8" AWAY AT ALL EXTERIOR WALLS.
  - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANELS, ETC. TO BE PAINTED TO MATCH HOUSE.
  - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.
  - ALL FOAM POP-OUT PROTECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH LINO.
  - STUCCO NOTES:
    - DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.
    - FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS.
- NOTE:  
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER.

**KEYNOTES**

No.	DESCRIPTION
1	TOP OF RETAINING WALL - SEE STRUCTURAL STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.
2	LINE OF NATURAL GRADE
3	3'-0" HIGH 8"x8"x6" CMU SCREEN WALL AT MOTOR COURT - SEE STRUCTURAL PLAN STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.
4	POOL FENCING BY OTHERS PER SEPARATE PERMIT
5	7'-0" HEIGHT OFFSET



RETAINING WALL / GRADE - FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



RETAINING WALL / GRADE - RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"

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PROJECT NUMBER: 1  
DATE: 8.16.2022

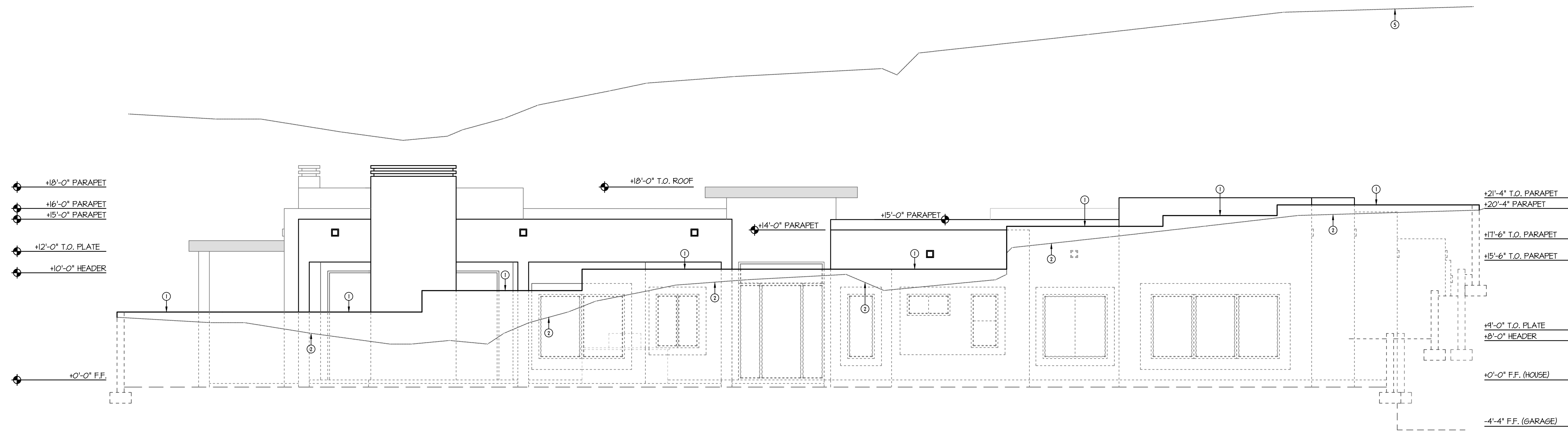
SHEET TITLE:  
**RETAINING WALL / GRADE ELEVATIONS**

SHEET NUMBER:

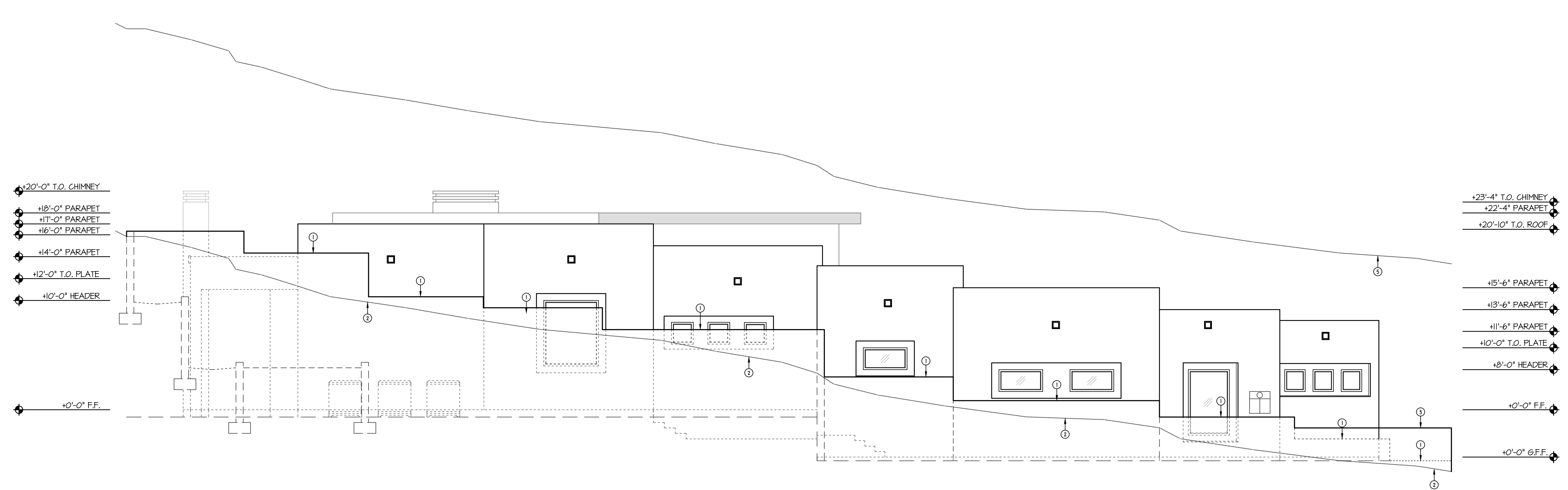
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RETAINING WALL / GRADE - REAR ELEVATION  
SCALE: 3/16" = 1'-0"



RETAINING WALL / GRADE - LEFT ELEVATION  
SCALE: 3/16" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-COTE STUCCO WALL FINISH (I.C.C. 658) #3250 OVER RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
  - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER IBC SEC. 703.6. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  - WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 6" AWAY AT ALL EXTERIOR WALLS.
  - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANELS, ETC. TO BE PAINTED TO MATCH HOUSE.
  - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.
  - ALL FOAM POP-OUT PROTECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH LINO.
  - STUCCO NOTES:  
A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.  
B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS.
- NOTE:  
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**KEYNOTES**

No.	DESCRIPTION
1	TOP OF RETAINING WALL - SEE STRUCTURAL STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.
2	LINE OF NATURAL GRADE
3	3'-0" HIGH 8"x8"x6" CMU SCREEN WALL AT MOTOR COURT - SEE STRUCTURAL PLAN STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.
4	POOL FENCING BY OTHERS PER SEPARATE PERMIT
5	7'-0" HEIGHT OFFSET

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**REVISIONS**

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2	HOA COORDINATION	1.19.2023
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4		
5		

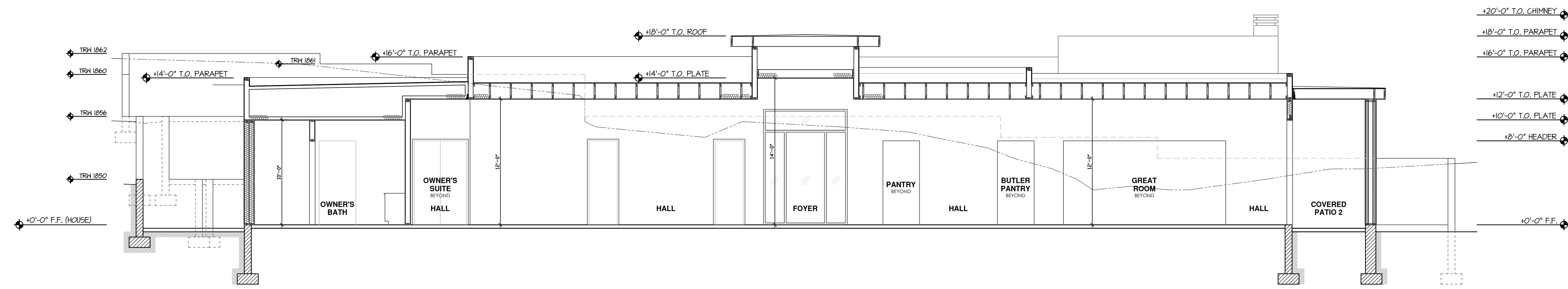
PROJECT NUMBER: 1  
DATE: 8.16.2022

SHEET TITLE:  
**RETAINING WALL / GRADE ELEVATIONS**

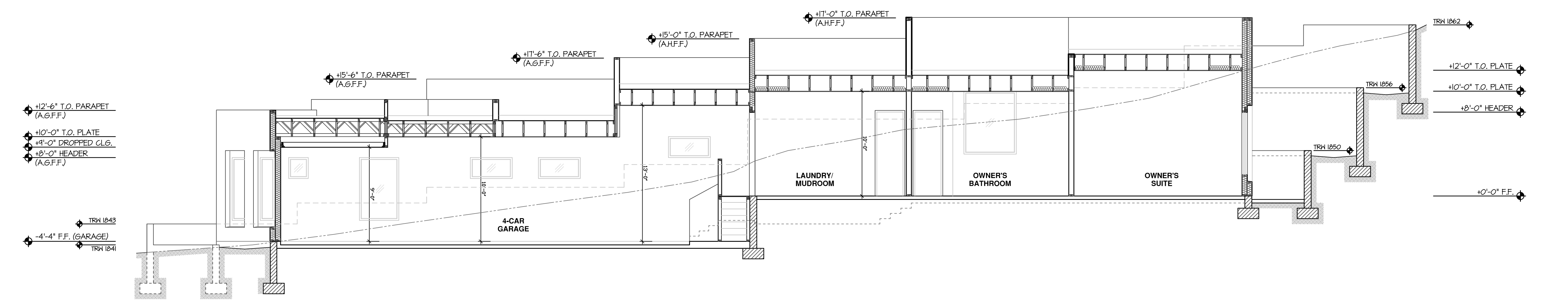
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SECTION A  
SCALE: 3/16" = 1'-0"



SECTION B  
SCALE: 3/16" = 1'-0"

- GENERAL INFORMATION**
1. ALL TRUSSES TO BE MANUFACTURED BY A CITY APPROVED FABRICATOR.
  2. DESIGN TRUSSES TO CARRY EXTRA LOAD AT ANY & ALL CRIPPLE WALLS.
  3. TRUSS DRAWINGS AND DATA TO BE PROVIDED TO FIELD INSPECTOR FOR COMPARISON TO FRAMING PLAN.
  4. ALL WOOD RESTING ON OR ABUTTING TO CONCRETE OR MASONRY (WEDD GILL) SHALL BE PRESSURE TREATED OR FOUNDATION RESWOOD.
  5. WESTERN ONE-KOTE STUCCO WALL FINISH (I.C.G. ESR #279) OVER RESISTIVE BARRIER OF TYPE 5 ASPHALT-SATURATED RAG FELT.
  6. FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER I.R.C. SEC. R702.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  7. WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 6" A.F.F. AT ALL EXTERIOR WALLS.
  8. CONCRETE TILE ROOFS INSTALLED PER MANUFACTURERS SPECIFICATIONS AND I.C.G. ESR #100.
  9. ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
  10. ALL VENTS, FLASHINGS, FASCIA, ELECTRICAL PANELS, ETC. TO BE PAINTED TO MATCH HOUSE.
  11. WHERE EAVE OR CORNER VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
  12. GARAGE DOOR SELECTION PER OWNER SPECIFICATIONS. GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.
  13. COACH LIGHTS PER OWNER - CENTER AT 68" AFF.
  14. ALL FOAM POPOUT PROJECTIONS (IF OCCURS) SHALL HAVE STUCCO SYSTEM FINISH UNO.
  15. STUCCO NOTES:
    - A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.
    - B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS.
- NOTE:  
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATION BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER.

**KEYNOTES**

No.	DESCRIPTION
1	7" FOAM ROOF WITH ELASTOMERIC TOP COAT AND #1 GRANULES. PROVIDE CRACKETS FOR POSITIVE DRAINAGE.
2	ONE-KOTE STUCCO SYSTEM (ESR #607) OVER FOAM BOARD (ON AS BOARD AT ATTIC AREAS).
3	WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR/PAINT CONCRETE STEM BELOW TO MATCH BUILDING.
4	PRESSURE TREATED BOTTOM PLATE
5	CONCRETE SLAB OVER TERMITE TREATED A.B.C. FILL
6	TOP OF PARAPET
7	PRE-FAB TRUSSES - SEE FRAMING PLAN AND TRUSS CALCULATIONS
8	5/8" TYPE 'X' GYPSUM BOARD PER CITY REQUIREMENTS
9	1/2" GYPSUM BOARD (ESR #330) PER I.R.C. TABLE R0233.5
10	1/2" EXTERIOR TYPE GYPSUM BOARD (ESR #330) PER I.R.C. TABLE R0233.5
11	DOUBLE TOP PLATE
12	2x4 STUDS AT 24" O.C. (NON-BEARING WALLS)
13	2x4 STUDS AT 16" O.C. (BEARING WALLS) UNO.
14	2x6 STUDS AT 16" O.C. (BEARING WALLS) UNO.
15	2x4 STUDS AT 24" O.C. (NON-BEARING WALLS)
16	R-19 BATT INSULATION IN ALL EXTERIOR WALLS AND GARAGE WALLS
17	R-30 SPRAY FOAM INSULATION IN ALL LIVEABLE ATTIC AREAS
18	WOOD BEAM - SEE FRAMING PLAN
19	DROPPED CEILING
20	TEMPERED GLASS
21	CONC. STEM AND FOOTING - SEE FOUNDATION PLAN
22	NATURAL GRADE BEYOND - SEE CIVIL ENGINEERING
23	LINE OF RETAINING WALL BEYOND
24	LINE OF EXTERIOR HARDSCAPE BEYOND
25	CEILING JOISTS - SEE STRUCTURAL FRAMING PLAN

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PROFESSIONAL SEAL

**REVISIONS**

NO.	REVISION	DATE
1	CITY COMMENTS	10.6.2022
2	HOA COORDINATION	1.19.2023
3	OWNER CHANGES	11.XX.2024
4		
5		

PROJECT NUMBER: \_\_\_\_\_  
DATE: 8.16.2022

SHEET TITLE:

**BUILDING SECTIONS**  
SHEET NUMBER:  
**A5.0**

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**NOTE:**  
 PROVIDE A PERMANENTLY ATTACHED ENERGY LABEL ON ELECTRICAL PANEL NOT OBSTRUCTED BY WIRING THAT SPECIFIES ALL OF THE HOME'S LISTED R-VALUES IN ROOF AND WALLS, FENESTRATION U-VALUES AND SHGC VALUES, TESTED INFILTRATION RATES, WATER HEATER EFFICIENCY AND INSULATION

- GENERAL INFORMATION**
- COMPLY TO I.R.C. AND N.E.C. FOR MECHANICAL AND ELECTRICAL EQUIPMENT LOCATION REQUIREMENTS
  - SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES IN CLOTHES CLOSET SHALL MAINTAIN 12" BETWEEN FIXTURE AND THE NEAREST FRONT OF STORAGE - I.R.C. SEC. E3903.1
  - SEE GEN ARCH NOTES FOR ALL CODE AND UL REGULATIONS.
  - BATHROOM OUTLETS TO BE A MIN. OF 20 AMP BRANCH CIRCUIT WITH NO OTHER OUTLETS. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN THREE FEET OF OUTSIDE EDGE OF BATHN - I.R.C. SEC. E3901.6
  - HALLWAY SMOKE DETECTORS TO BE A MINIMUM OF 3'-0" FROM RETURN AIR VENTING - PER MFR'S INSTRUCTIONS.
  - ELC. OUTLETS AND SWITCHES BACK TO BACK IN FIRE SEPARATION WALLS MUST MAINTAIN SEPARATE BAYS OR MUST BE INSTALLED IN UL LISTED METAL BOX.
  - A MIN. OF 10% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
  - ALL 125 VOLT, 15- AND 20-AMPERE RECEPTACLES WITHIN 5'-6" OF FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
  - ALL RECESSED LUMINAIRES SHALL BE I-C RATED AND BE SEALED WITH A GASKET OR GASKET BETWEEN THE HOUSING AND WALL/CEILING COVERING.
  - ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15-AMP AND 20-AMP OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER FOR THE ENTIRE BRANCH CIRCUIT - I.R.C. E302.12.

- ELECTRICAL SYMBOLS**
- RECESSED CAN
  - ⊠ VAPOR PROOF REC. CAN
  - ⊡ EXTERIOR TYPE REC. CAN
  - WALL MOUNT LIGHT
  - HANGING / SURFACE LIGHT
  - ▽ FLOOD LIGHTS
  - 2-BULB FLUORESCENT LIGHT
  - SWITCH
  - 3-WAY SWITCH
  - ⊕ DUPLEX OUTLET
  - ⊕ SWITCHED OUTLET
  - ⊕ 220V. OUTLET
  - ⊕ LOW VOLTAGE OUTLET
  - ⊕ JUNCTION BOX
  - ⊕ TELEVISION OUTLET
  - ⊕ PHONE AND/OR DATA OUTLET
  - ✱ CEILING FAN WITH REINF. J-BOX
  - ⊕ EXHAUST FAN
  - ⊕ FUSED DISCONNECT SWITCH
  - ⊕ CHIMES @ +B4"
  - ⊕ CONDENSOR MOTOR
  - ⊕ PUSH BUTTON SWITCH
  - ⊕ SMOKE DETECTOR
  - ⊕ CARBON MONOXIDE DETECTOR/ SMOKE DETECTOR COMBO.
  - ⊕ VANITY FIXTURE

**KEYNOTES**

No.	DESCRIPTION
1	DOOR BELL - WIRED TO CHIMES
2	CHIMES - WIRED FROM DOOR BELL
3	RANGE AND OVEN WITH HOOD ABOVE
4	A/C COMPRESSOR DISCONNECT - COORDINATE LOCATION WITH MECHANICAL CONTRACTOR
5	EXHAUST FAN - PROVIDE MIN 5 AIR CHANGES PER HOUR SO C.F.M. FAN - UNO. ON PLAN
6	ELECTRIC SERVICE PANEL PER ELECTRICAL ENGINEERING
7	CEILING OUTLET FOR AUTOMATIC GARAGE DOOR OPENER - OPCI PER I.R.C. SEC. E3902.2
8	SCUTILE ACCESS WITH SWITCH AND LIGHT - COORDINATE WITH MECHANICAL CONTRACTOR
9	WATER HEATER - ELECTRIC
10	20 AMP CIRCUIT BREAKER OUTLET - 1 LEG SWITCHED AT DISPOSAL, 1 LEG NOT AT DISHWASHER
11	A/C SPLIT SYSTEM - REFER TO MECHANICAL PLAN FOR SPECIFICATIONS AND UNIT LOCATIONS
12	AIR HANDLER
13	SMALL APPLIANCES PER OWNER
14	SOLAR TUBE FOR NATURAL LIGHTING
15	POOL EQUIPMENT BY OTHERS

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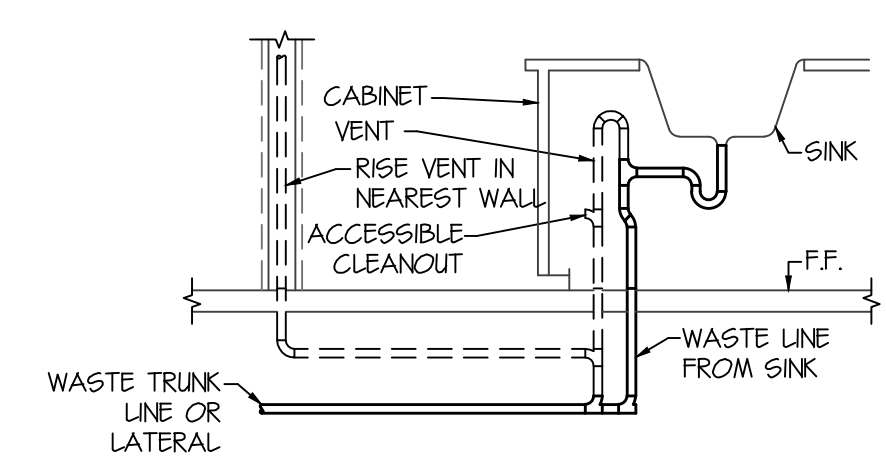
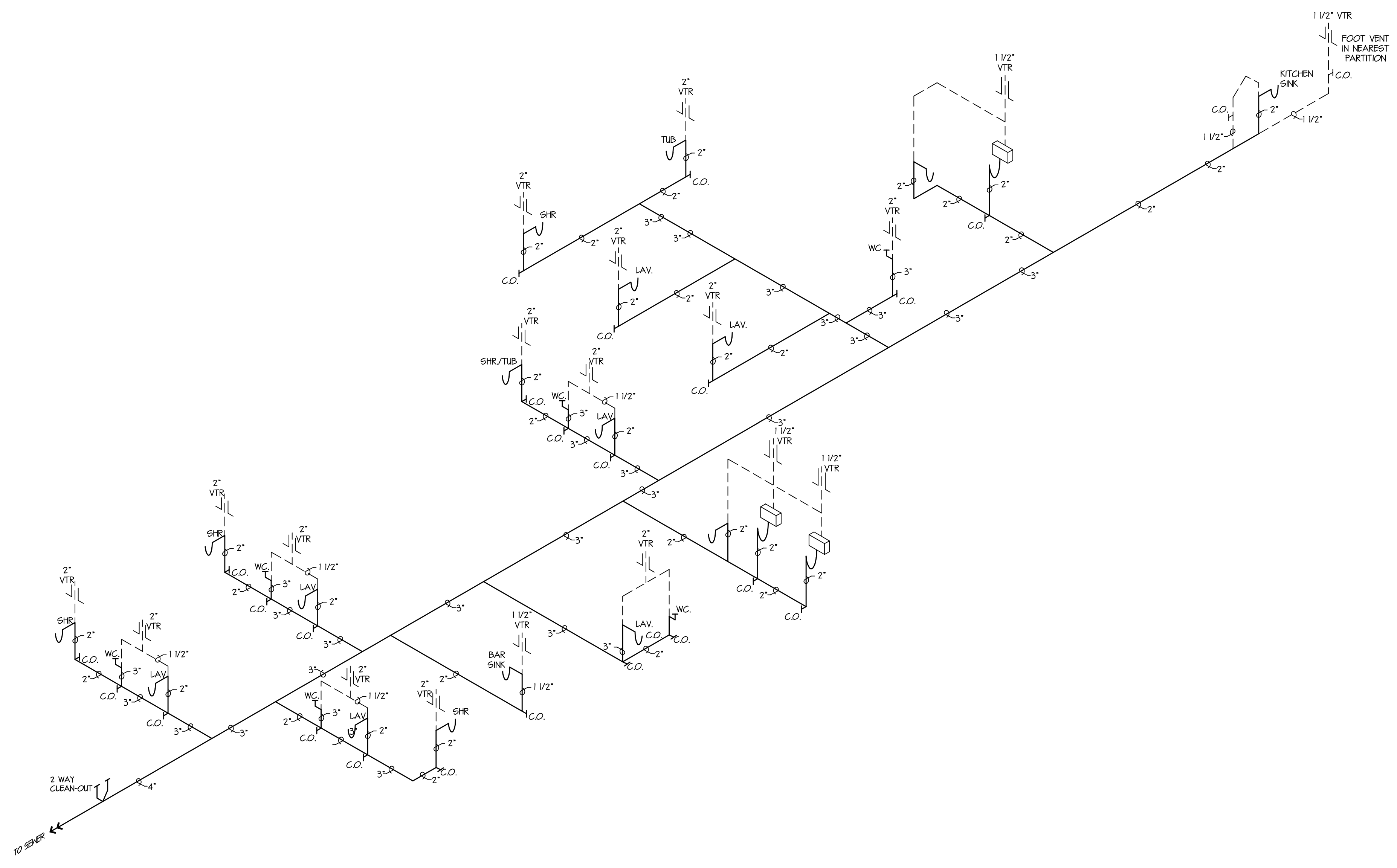
SHEET TITLE:

**ELECTRICAL PLAN**

SHEET NUMBER:

**E1.1**

WATER METER INFORMATION			
D TOTAL NUMBER OF WATER SUPPLY FIXTURE UNIT VALUES (IRC P2103.6)			
TYPE OF FIXTURE	QUANTITY	UNIT VALUE	TOTAL UNITS
TUB (WITH/ WITHOUT OVERHEAD SHOWER)	1	x 14	= 14
CLOTHES WASHER	2	x 14	= 28
DISHWASHER	2	x 14	= 28
FULL-BATH GROUP WITH BATHTUB (WITH OR WITHOUT SHOWER HEAD) OR SHOWER STALL	5	x 36	= 180
HALF-BATH GROUP (WATER CLOSET AND LAVATORY)	1	x 26	= 26
HOSE BIBB (2 ONLY)	2	x 25	= 50
KITCHEN GROUP (DISHWASHER AND SINK WITH OR WITHOUT GARBAGE DISPOSAL)	1	x 25	= 25
KITCHEN SINK	1	x 14	= 14
LAUNDRY GROUP (CLOTHES WASHER STANDPIPE AND LAUNDRY TUB)	2	x 25	= 50
LAUNDRY TUB	1	x 14	= 14
LAVATORY	7	x 07	= 49
SHOWER STALL	1	x 14	= 14
WATER CLOSET TANK TYPE	6	x 22	= 132
OTHER	0	x 0	= 0
FOR FIXTURE UNIT NOT LISTED, CHOOSE A FIXTURE WITH SIMILAR FLOW CHARACTERISTICS			TOTAL 560
2) TOTAL DEVELOPED LENGTH OF THE WATER LINE, FEET, FROM THE WATER METER TO THE FURTHEST WATER USING OUTLET, MULTIPLIED BY 12 (COMPENSATION FOR THE PRESSURE LOSS THROUGH FITTINGS) = 2052 (IRC A6203.3)			
3) BASE WATER PRESSURE = _____ (PSI)			
4) THE HIGHEST WATER SUPPLY OUTLET IS _____ FEET ABOVE THE ELEVATION AT THE WATER METERS.			
METER SIZE: _____ VERIFY			
SUPPLY SIZE: _____ VERIFY			
WATER SUPPLY OUTLETS FOR ITEMS NOT LISTED ABOVE SHALL BE COMPUTED AT THEIR MAXIMUM DEMAND OR ACCORDING TO THE SIZE OF THE SUPPLY PIPE AS INDICATED IN THE INTERNATIONAL PLUMBING CODE, WHICHEVER IS GREATER.			



ISLAND VENT DETAIL  
N.T.S.

- WASTE ISOMETRIC**
- PLUMBING SHALL BE IN ACCORDANCE WITH THE 2015 I.P.C., 2015 I.R.C. AND ALL APPLICABLE CITY OF SCOTTSDALE ADOPTED CODES AND ORDINANCES.
  - WASTE AND VENT PIPE SHALL BE ABS PLASTIC (P.V.C. SCHEDULE 40)
  - THIS DIAGRAM IS FOR PIPE SIZE 1 CLEAN OUT LOCATION ONLY. SIZE PIPE ACCORDING TO I.P.C. TBL. 7071 AND 7123, I.R.C. TBL. F318
  - PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CONTROL VALVES FOR ALL SHOWER AND TUB/SHOWER COMBINATIONS.
  - ALL CLEANOUTS SHALL BE INSTALLED A MIN. OF 4" ABOVE FINISHED FLOOR.
  - PROVIDE GENERAL A POTABLE WATER SUPPLY SYSTEM SHALL BE DESIGNED AND INSTALLED IN SUCH A MANNER AS TO PREVENT CONTAMINATION FROM NONPOTABLE LIQUIDS, SOLIDS OR GASES BEING INTRODUCED INTO THE POTABLE WATER SUPPLY. CONNECTIONS SHALL NOT BE MADE TO A POTABLE WATER SUPPLY IN A MANNER THAT WOULD CONTAMINATE THE WATER SUPPLY OR PROVIDE A CROSS-CONNECTION BETWEEN THE SUPPLY AND SOURCE OF CONTAMINATION UNLESS AN APPROVED BACKFLOW PREVENTION DEVICE IS PROVIDED. CROSS-CONNECTIONS BETWEEN AN INDIVIDUAL WATER SUPPLY AND A POTABLE PUBLIC WATER SUPPLY SHALL BE PROHIBITED.
  - PROVIDE SOLDERED JOINTS. SOLDERED JOINTS IN TUBING SHALL BE MADE WITH FITTINGS APPROVED FOR WATER PIPING AND SHALL CONFORM TO ASTM B 828. SURFACES TO BE SOLDERED SHALL BE CLEANED BRIGHT. THE JOINTS SHALL BE PROPERLY FLUXED AND MADE WITH APPROVED SOLDER. SOLDER AND FLUXES USED IN POTABLE WATER-SUPPLY SYSTEMS SHALL HAVE A MAXIMUM OF 0.2 PERCENT LEAD. FLUXES SHALL CONFORM TO ASTM B 818.
  - PROVIDE GENERAL. FIXTURES THAT HAVE FLOOD LEVEL SINKS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SINKER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACKFLOW OR SINKAGE BY INSTALLING AN APPROVED BACKFLOWER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKFLOWER VALVE. BACKFLOWER VALVES SHALL BE PROVIDED WITH ACCESS.

PLUMBING PLAN ISO  
NOT TO SCALE

**POVINELLI RESIDENCE**  
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PROFESSIONAL SEAL

REVISIONS		
1	CITY COMMENTS	10.6.2022
2	HQA COORDINATION	1.19.2023
3	OWNER CHANGES	11.XX.2024
4		
5		

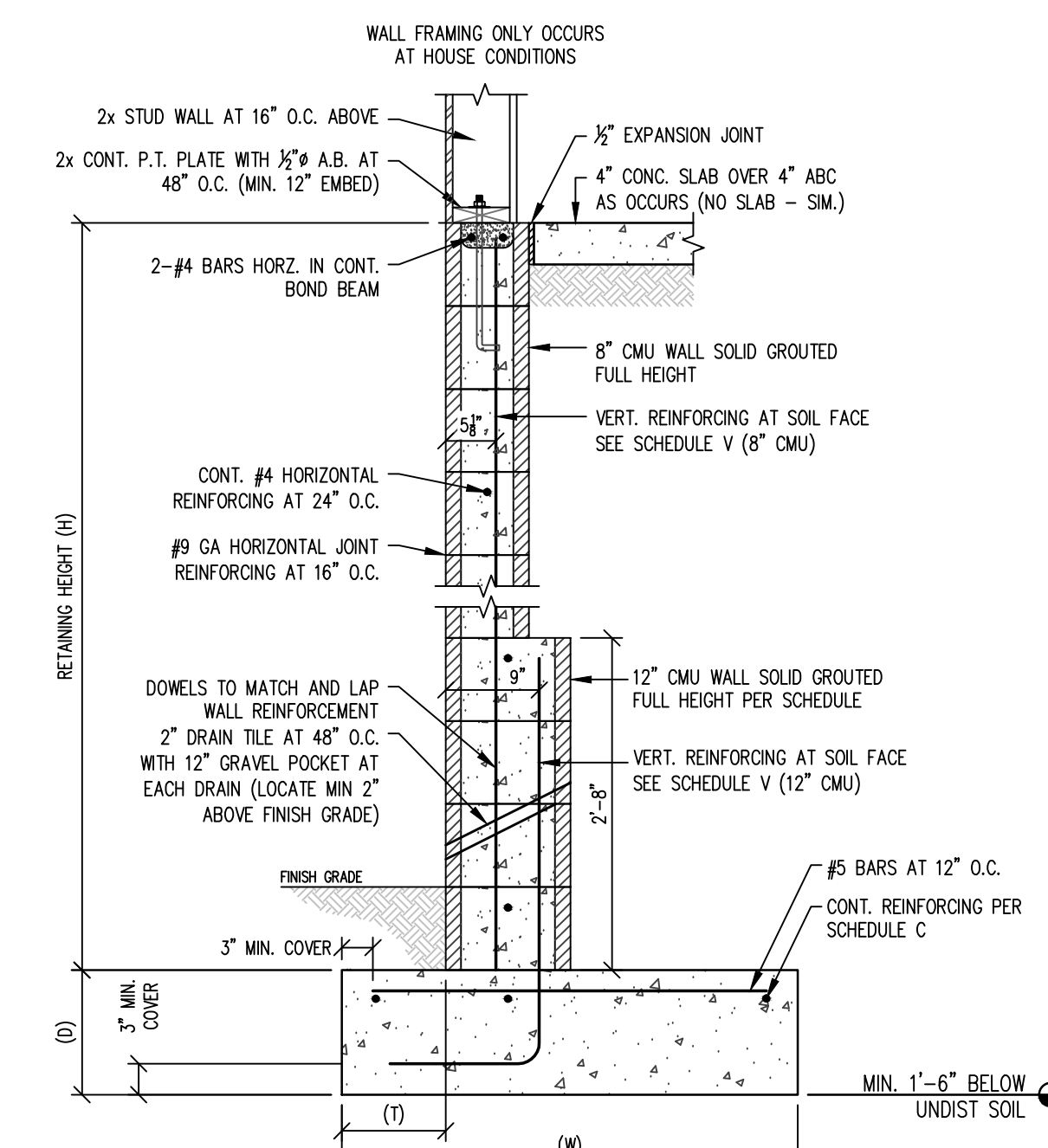
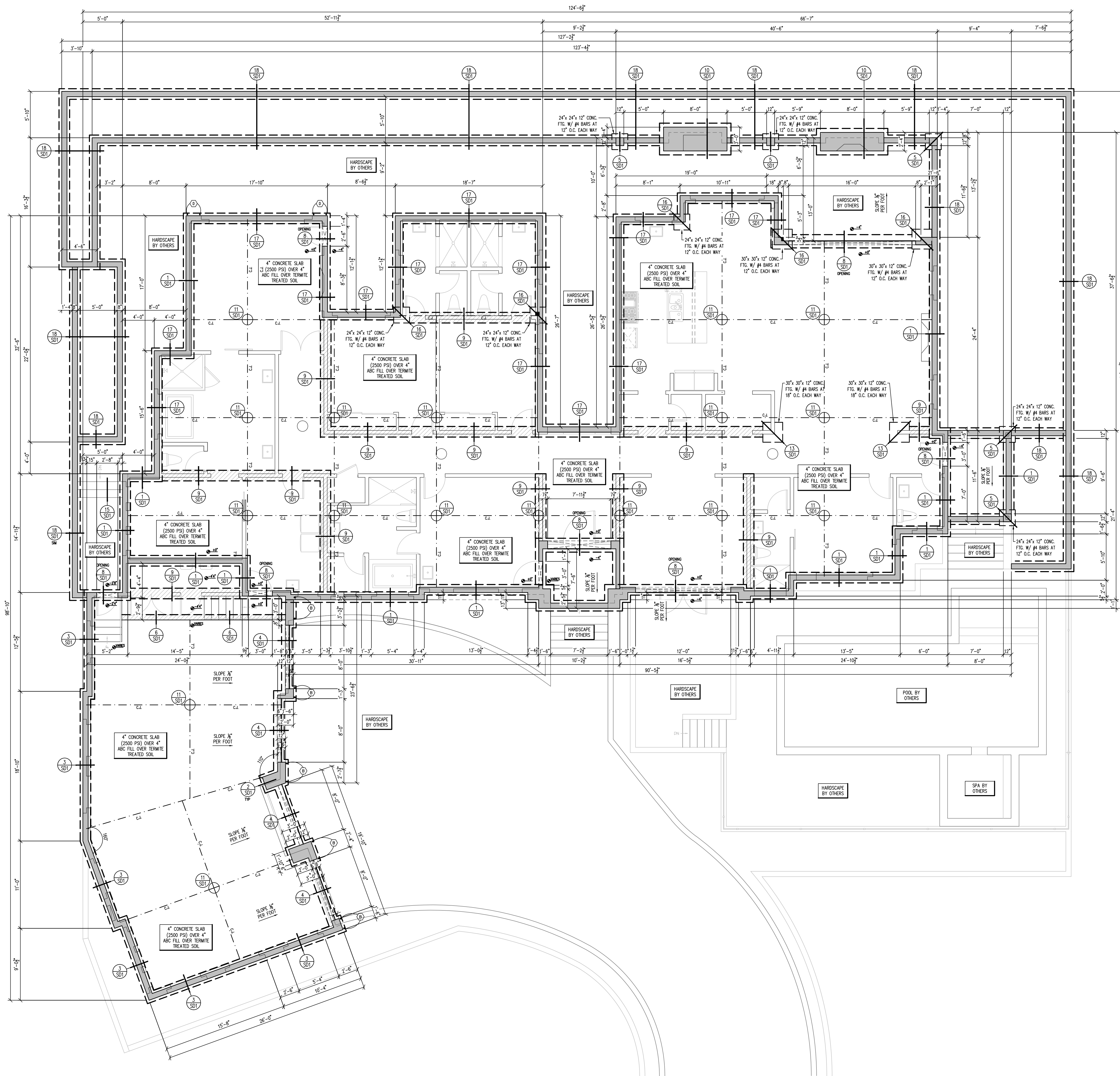
PROJECT NUMBER: \_\_\_\_\_  
DATE: 8.16.2022

SHEET TITLE:  
**PLUMBING ISO**  
SHEET NUMBER:  
**P1.0**

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF GILBERT STRUCTURAL LLC AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH IT WAS PREPARED AND PUBLICATION THEREOF OR REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED WITHOUT THEIR WRITTEN CONSENT.







RETAINING HT.	VERT. REIN.	VERT. REIN.	FOOTING SIZE	HEIGHT	CONC. REIN.
6"	Y (12" CMU)	Y (12" CMU)	1' W x 8" D	8" CMU	12" CMU C
1'-0" OR LESS	#4 AT 48" O.C.	N/A	0'-8" x 5'-0"	12"	N/A
4'-0" OR LESS	#4 AT 24" O.C.	N/A	1'-0" x 5'-0"	12"	N/A
6'-0" OR LESS	#4 AT 24" O.C.	N/A	1'-0" x 5'-0"	12"	N/A
8'-0" OR LESS	#4 AT 24" O.C.	N/A	1'-0" x 5'-0"	12"	N/A
10'-0" OR LESS	#4 AT 24" O.C.	N/A	1'-0" x 5'-0"	12"	N/A

10'-0" MAX. CANT. RETAINING WALL  
 REFER TO THIS DETAIL WHERE WALL HEIGHTS EXCEED DETAIL 18/S01

**FOUNDATION PLAN**

SCALE: 3/16" = 1'-0"

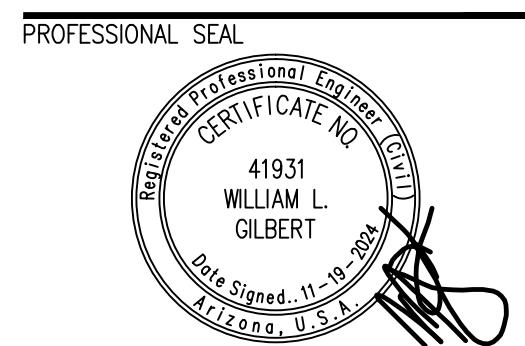
- FOUNDATION NOTES**
- REFER TO STRUCTURAL NOTES PAGE FOR MATERIAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS NOT LISTED BELOW.
  - ALL CONSTRUCTION AND FOUNDATION WORK SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF ALL APPLICABLE BUILDING CODES.
  - VERIFY ALL FOUNDATION DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
  - ALL WOOD PLATES THAT ANCHOR TO THE FOUNDATION SHALL BE PRESSURE TREATED OR FOUNDATION REDWOOD.
  - COORDINATE FOUNDATION PLAN WITH SHEARWALL PLAN FOR LOCATION OF HOLDINGS AND SHEARWALL ANCHOR BOLT SPACING.
  - CONTRACTOR TO PLACE CONTROL JOINTS AS INDICATED ON THE FOUNDATION PLAN WHERE APPLICABLE.
  - TYPICAL ANCHOR BOLT 1/2"x12" LONG AT 30" O.C. UNLESS NOTED OTHERWISE ON PLAN. ALL WOOD SILL PLATES SHALL HAVE MAX. OF 2 ANCHOR BOLTS PER PLATE. ANCHOR BOLTS SHALL BE LOCATED NOT LESS THAN 4" NOR MORE THAN 12" FROM END OF PLATE OR AT PLATE SPLICE. ANCHORS USED FOR HOLDINGS SHALL NOT BE CONSIDERED IN PLACING ANCHOR BOLTS. REFER SHEARWALL LAYOUT PLAN FOR THE SPACING OF ANCHOR BOLTS AT THE LOCATION OF SHEAR PANELS. COMMON WASH ANCHORS OR STRONG BOLTS 3/8" LIT OR EXPANSION ANCHORS (MIN. 3/8" EMBED) MAY BE USED I.D. 3/8" EMBEDDED A.B. PROVIDED THEY ARE INSTALLED AT THE SAME SPACING INDICATED IN THE NOTES, DETAILS OR SCHEDULES OF THIS PLAN.

MARK	TYPE	DESCRIPTION
B	STEEL	USE STEEL [MIN (20) 160 SMOKE WALLS]
C	HT-5	USE HT-5 [MIN (20) 160 SMOKE WALLS] WITH STRONG-BOLT 2 WITH 3/8" EMBED (3/8" BOLT)
D	STEEL	USE STEEL [MIN (20) 160 SMOKE WALLS]

NOTES:  
 ALL HOLDINGS SHALL BE ATTACHED TO DOUBLE FULL HEIGHT STEEL (MIN).  
 \* USE COMMON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED (3/8"-307)  
 \*\* SEE DETAIL 12/S01 FOR RETROFIT HOLDOWN APPLICATIONS  
 #4 REIN. REQUIRED FOR HOLDINGS DETAILED IN ABOVE OTHER LOCATIONS ONLY.  
 INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

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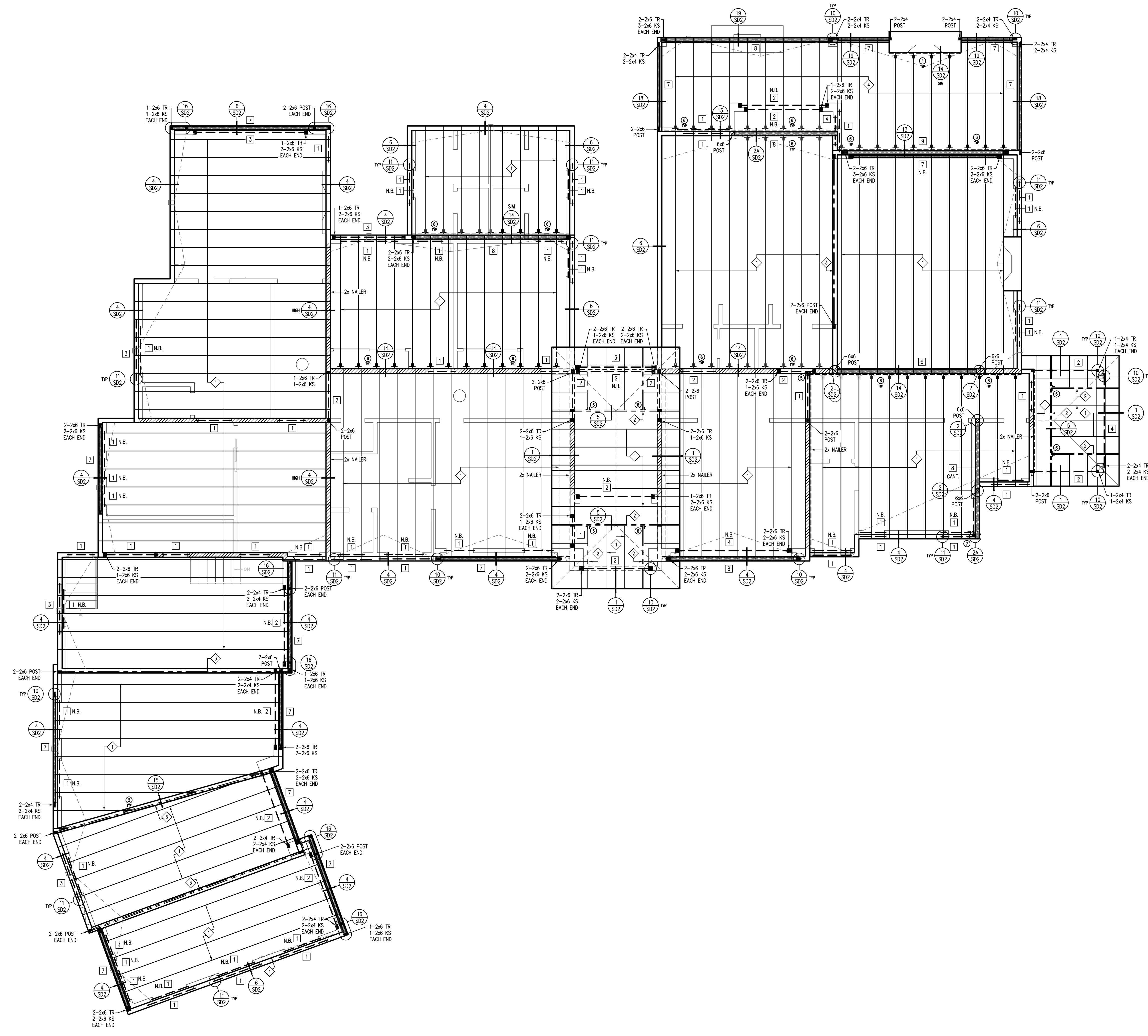


- REVISIONS**
- |   |                       |            |
|---|-----------------------|------------|
| 1 | HOA COORDINATION      | 1.19.2023  |
| 2 | RETAINING WALL DETAIL | 5.1.2024   |
| 3 | OWNER CHANGES         | 11.19.2024 |
- PROJECT NUMBER: \_\_\_\_\_  
 DATE: 8.16.2022

FOUNDATION LAYOUT  
 SHEET NUMBER:  
**S1.0**



WOOD TRUSS NOTE:  
 PREFABRICATED WOOD TRUSSES TO BE PROVIDED BY AN  
 APPROVED FABRICATOR. TRUSS DIAGRAMS AND LAYOUT SHALL  
 BE AVAILABLE TO THE FIELD INSPECTOR AT THE JOB SITE AT  
 THE TIME OF FRAMING INSPECTION.



LEGEND:

	BEARING WALL
	2-2x POST (U.N.O.)

HANGER SCHEDULE

①	LUS26
②	THASR/L29
③	LTHJ
④	HUS26
⑤	HGUS26-2
⑥	LUS210
⑦	HUC28-2

BEAM SCHEDULE

①	(2) 2x6 DFL #2 OR 4x6
②	(2) 2x8 DFL #2 OR 4x8
③	(2) 2x10 DFL #2 OR 4x10
④	(2) 2x12 DFL #2 OR 4x12
⑤	(1) 3/4" x 9" GLB
⑥	(1) 3/4" x 10 1/2" GLB
⑦	(1) 3/4" x 12" GLB
⑧	(1) 5/8" x 12" GLB
⑨	(1) 5/8" x 15" GLB

TRUSS SCHEDULE

	TAPERED TOP CHORD FLAT ROOF TRUSSES AT 24" O.C.
	TAPERED TOP CHORD FLAT ROOF GIRDER TRUSS
	BOX GIRDER TRUSS
	2x12 DF#2 RAFTERS AT 24" O.C.

- FRAMING NOTES
- REFER TO STRUCTURAL NOTES PAGE FOR MATERIAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS NOT LISTED BELOW.
  - ALL FRAMING AND ANCHORING SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF THE BUILDING CODE.
  - EXTERIOR WALLS TO BE 2x STUDS AT 16" O.C., TYPICAL, U.N.O.
  - INTERIOR BEARING WALLS TO BE 2x STUDS AT 16" O.C., U.N.O.
  - INTERIOR PARTITION WALLS TO BE 2x STUDS AT 24" O.C., TYPICAL, U.N.O.
  - ALL POSTS TO BE 2-2x THE WALL THICKNESS, U.N.O.
  - SINGLE TRIMMER IS TO BE PROVIDED UNDER THE ENDS OF ALL BEAMS AND HEADERS, U.N.O.
  - ALL JOISTS SHALL BEAR A MINIMUM OF 2" ON ALL BEAMS OR WALL PLATES. PROVIDE #2 ST TIE AT EACH TRUSS ALONG INTERIOR BEARING WALLS.
  - METAL CONNECTORS, HANGERS AND TIES TO BE "SMIPSON STRONG-TIE" OR APPROVED EQUIV.
  - ALL ROOF TRUSSES SHALL BE AT 24" O.C. U.N.O.
  - ALL TRUSSES AND STRUCTURAL MEMBERS SHALL BE BRACED, BLOCKED AND SUPPORTED AT ALL TIMES DURING CONSTRUCTION.
  - TRUSS MANUFACTURER TO COORDINATE WITH MECHANICAL AND ARCHITECTURAL DRAWINGS FOR EXACT WEIGHT AND LOCATION OF MECHANICAL EQUIPMENT.
  - SEE MECHANICAL AND ARCHITECTURAL PLANS FOR LOCATIONS OF SOFFITS AND LOWERED SOFFITS.
  - PROVIDE BLOCK-OUTS IN ROOF FOR FIREPLACE FLUES, PLUMBING, ETC. VERIFY LOCATIONS OF FIREPLACE FLUES PRIOR TO CONSTRUCTION.
  - PROVIDE CROSS BLOCKING AND 1/2" PLYWOOD BACKING AT ALL CEILING FAN LOCATIONS.
  - REFER TO ARCHITECTURAL FLOOR AND/OR ROOF PLANS FOR ATTIC ACCESS LOCATIONS AND CODE REQUIREMENTS.
  - PROVIDE 2x BLOCKING AT ALL HIPS AND RIDGES FOR PANEL EDGE NAILING REFER TO ENGINEERING SPECIFICATIONS.
  - PROVIDE SMP, STCT CLP AT ALL TRUSSES TO EXTERIOR NON-BEARING WALLS.
  - SMIPSON #2 ST OR RSP4 NOT REQUIRED AT TOP OR BOTTOM PLATE CONNECTIONS IF OSB IS INSTALLED AT THAT LOCATION.
  - 16-GAUGE 1 3/4" LONG (2" CROWN) STAPLES MAY BE USED IN LIEU OF 8d NAILS FOR ROOF SHEATHING CONNECTIONS. SAME SPACING APPLIES TO BOTH 8d NAILS AND 16-GAUGE STAPLES.
  - ORDER TRUSS POST REQUIREMENTS:
    - SINGLE PLY GIRDER TRUSS - USE 1-2x (WALL THICKNESS) U.N.O.
    - TWO PLY GIRDER TRUSS - USE 2-2x (WALL THICKNESS) U.N.O.
    - THREE PLY GIRDER TRUSS - USE 3-2x (WALL THICKNESS) U.N.O.

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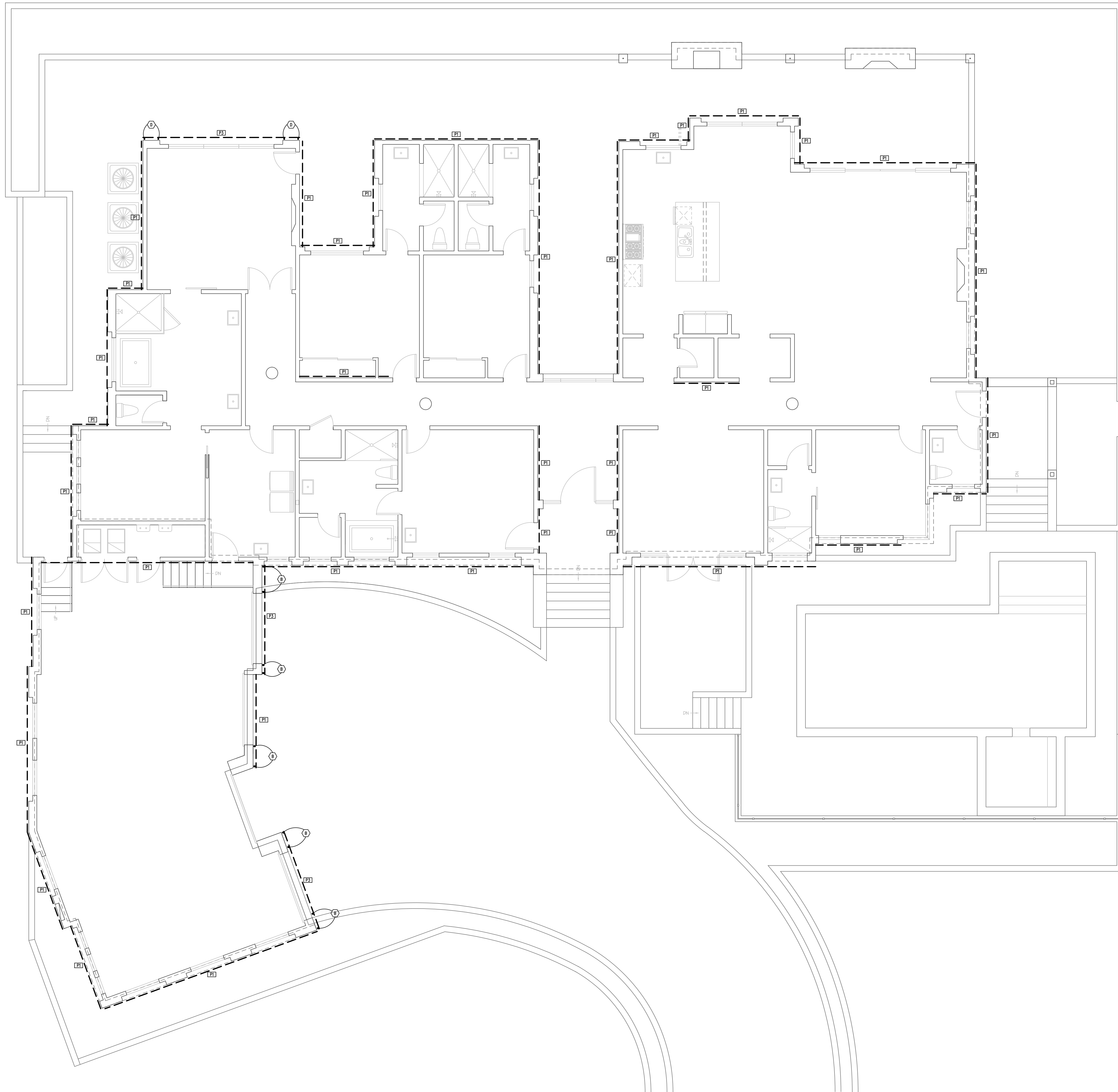
REVISIONS

①	HOA COORDINATION	1.19.2023
②	RETAINING WALL DETAIL	5.1.2024
③	OWNER CHANGES	11.19.2024
④		
⑤		

PROJECT NUMBER: \_\_\_\_\_  
 DATE: 8.16.2022

SHEET TITLE:  
**FRAMING LAYOUT**  
 SHEET NUMBER:  
**S2.0**

**ROOF FRAMING PLAN**  
 SCALE: 3/16" = 1'-0"



**SHEARWALL PLAN**

SCALE: 3/16" = 1'-0"

**SHEATHING NOTE:**  
ALL EXTERIOR WALLS TO BE SHEATHED WITH P1 FROM SHEATHING SCHEDULE UNLESS NOTED OTHERWISE.

SHEATHING SCHEDULE	
MARK	DESCRIPTION
P1	3/4" PLYWOOD/OSB #30 AT 4" O.C. EDGES / 12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" x 10" ANCHOR BOLTS AT 32" O.C. (INTERIOR): 1/2" SMP, STRONG-BOLT 2 A.B. AT 32" O.C. (EMBED 2 1/2" MIN. ESR-3037)
P2	3/4" PLYWOOD/OSB #30 AT 4" O.C. EDGES / 12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" x 10" ANCHOR BOLTS AT 24" O.C. (INTERIOR): 1/2" SMP, STRONG-BOLT 2 A.B. AT 24" O.C. (EMBED 2 1/2" MIN. ESR-3037)
P3	3/4" PLYWOOD/OSB #30 AT 3" O.C. EDGES / 12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" x 10" ANCHOR BOLTS AT 16" O.C. (INTERIOR): 1/2" SMP, STRONG-BOLT 2 A.B. AT 16" O.C. (EMBED 2 1/2" MIN. ESR-3037)
P4	3/4" PLYWOOD/OSB #30 AT 3" O.C. EDGES / 12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" x 10" ANCHOR BOLTS AT 12" O.C. (INTERIOR): 1/2" SMP, STRONG-BOLT 2 A.B. AT 12" O.C. (EMBED 2 1/2" MIN. ESR-3037)

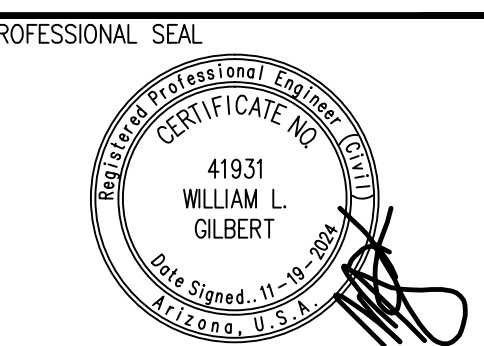
ALL SHEARWALLS TO HAVE DOUBLE TOP PLATES AND 2x STUDS AT 16" O.C. - U.N.O.  
 \* FRAMING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR WIDER, AND NAILS SHALL BE STAGGERED WHERE NAILS ARE SPACED LESS THAN 3" O.C.  
 \*\* USE CARBON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED. (ESR-3037)  
 \*\*\* AS AN ALTERNATE TO WET-SET ANCHOR BOLTS AND STRONG-BOLT 2 ANCHORS, SIMPSON TITEN-HD ANCHOR BOLTS MAY BE USED PROVIDED THE SAME SPACING IS ADHERED TO AS STATED IN THE SCHEDULE ABOVE. THE ANCHORS SHALL BE 1/2" x 5" WITH A MINIMUM EMBEDMENT OF 3 1/2" (ESR-2713).  
 \*\*\*\* AS AN ALTERNATE TO 5d COOLER NAILS, #8 1 1/2" TYPE "W" DRYWALL SCREWS MAY BE USED. AS AN ALTERNATE TO 6d COOLER NAILS, #8 1 1/2" TYPE "W" DRYWALL SCREWS MAY BE USED. SAME SPACING APPLIES PER SCHEDULE.

HOLDOWN SCHEDULE		
MARK	TYPE	DESCRIPTION
B	STD10	USE STD10 [WITH (28) 16d SINKER NAILS]
C	HTT-5	USE HTT5 [WITH (26) 10d SINKER NAILS] 3/4" STRONG-BOLT 2 WITH 5-1/2" EMBED (ESR #3037)
D	STD14	USE STD14 [WITH (38) 16d SINKER NAILS]

**NOTES:**  
 ALL HOLDOWNS SHALL BE ATTACHED TO DOUBLE FULL HEIGHT STUD (MIN.)  
 \* USE CARBON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED (ESR-3037)  
 \*\* SEE DETAIL 12/2011 FOR RETROFIT HOLDOWN APPLICATION  
 \*\*\* REBAR REQUIRED FOR HOLDOWNS INSTALLED AT RAISED CURB LOCATIONS ONLY.  
 \*\*\*\* INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

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 Fax 480-398-8166



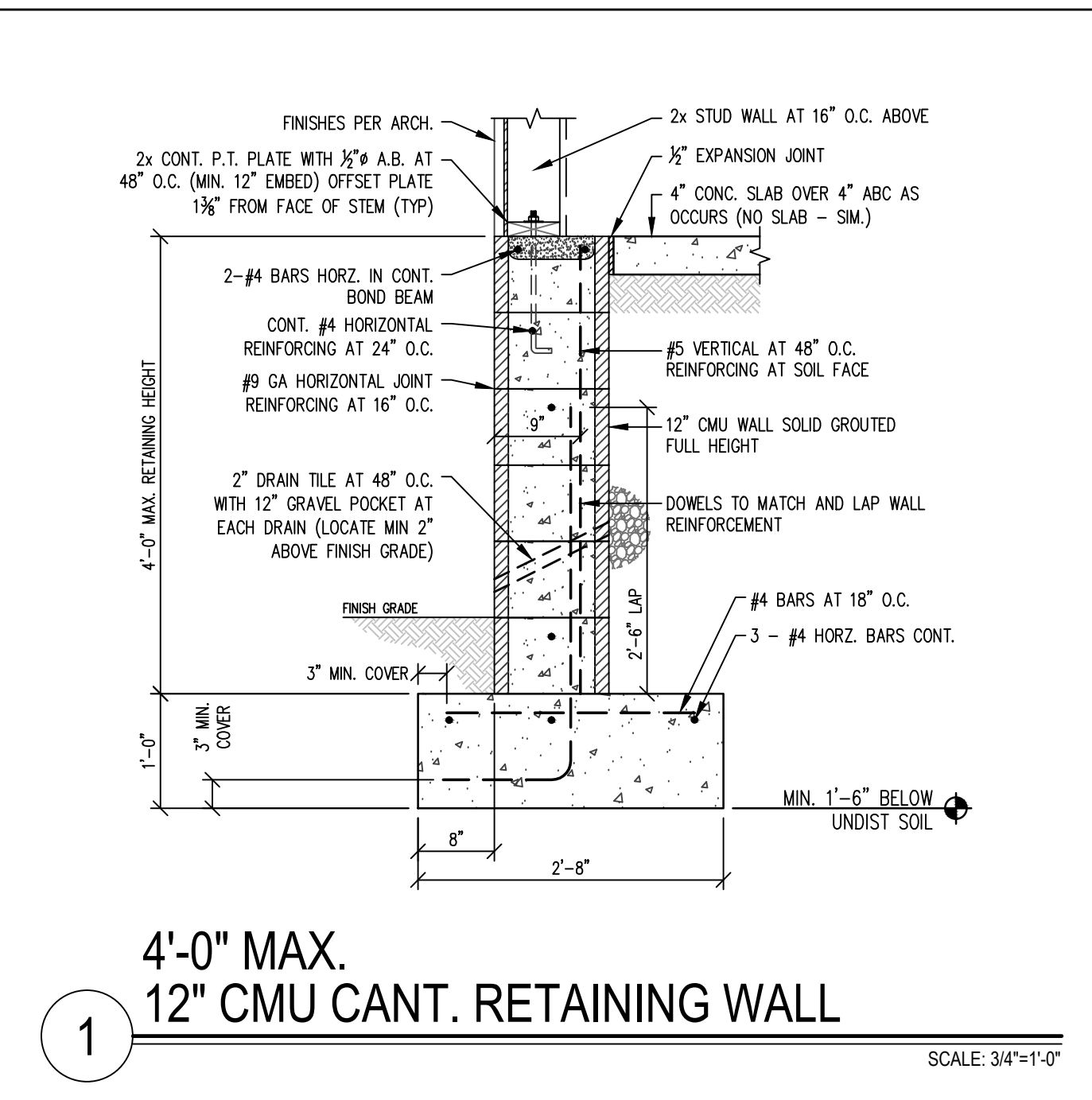
**REVISIONS**

1	HOA COORDINATION	1.19.2023
2	RETAINING WALL DETAIL	5.1.2024
3	OWNER CHANGES	11.19.2024
4		
5		

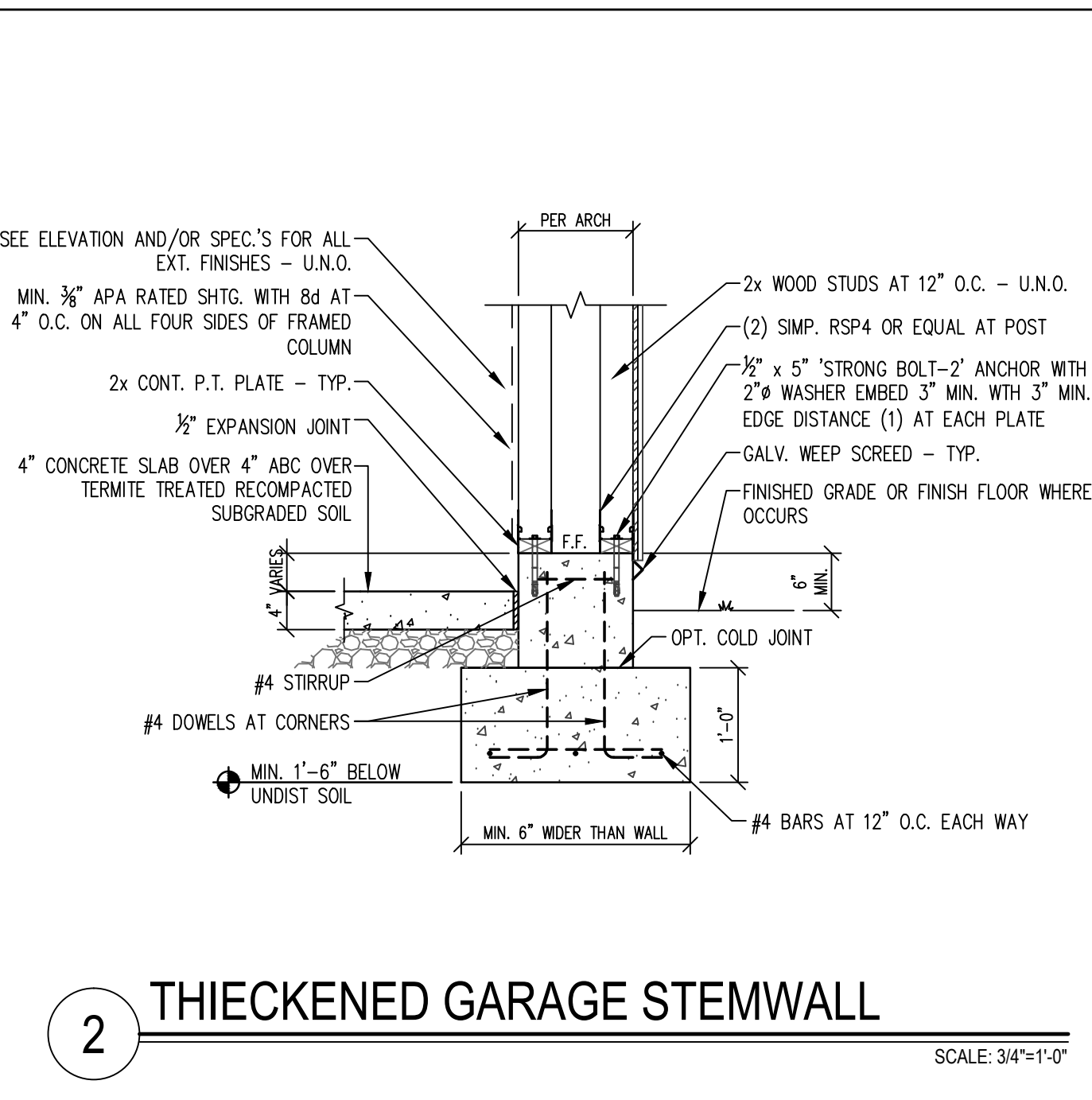
PROJECT NUMBER: \_\_\_\_\_  
 DATE: 8.16.2022

SHEET TITLE:  
**SHEARWALL LAYOUT**  
 SHEET NUMBER:  
**S3.0**

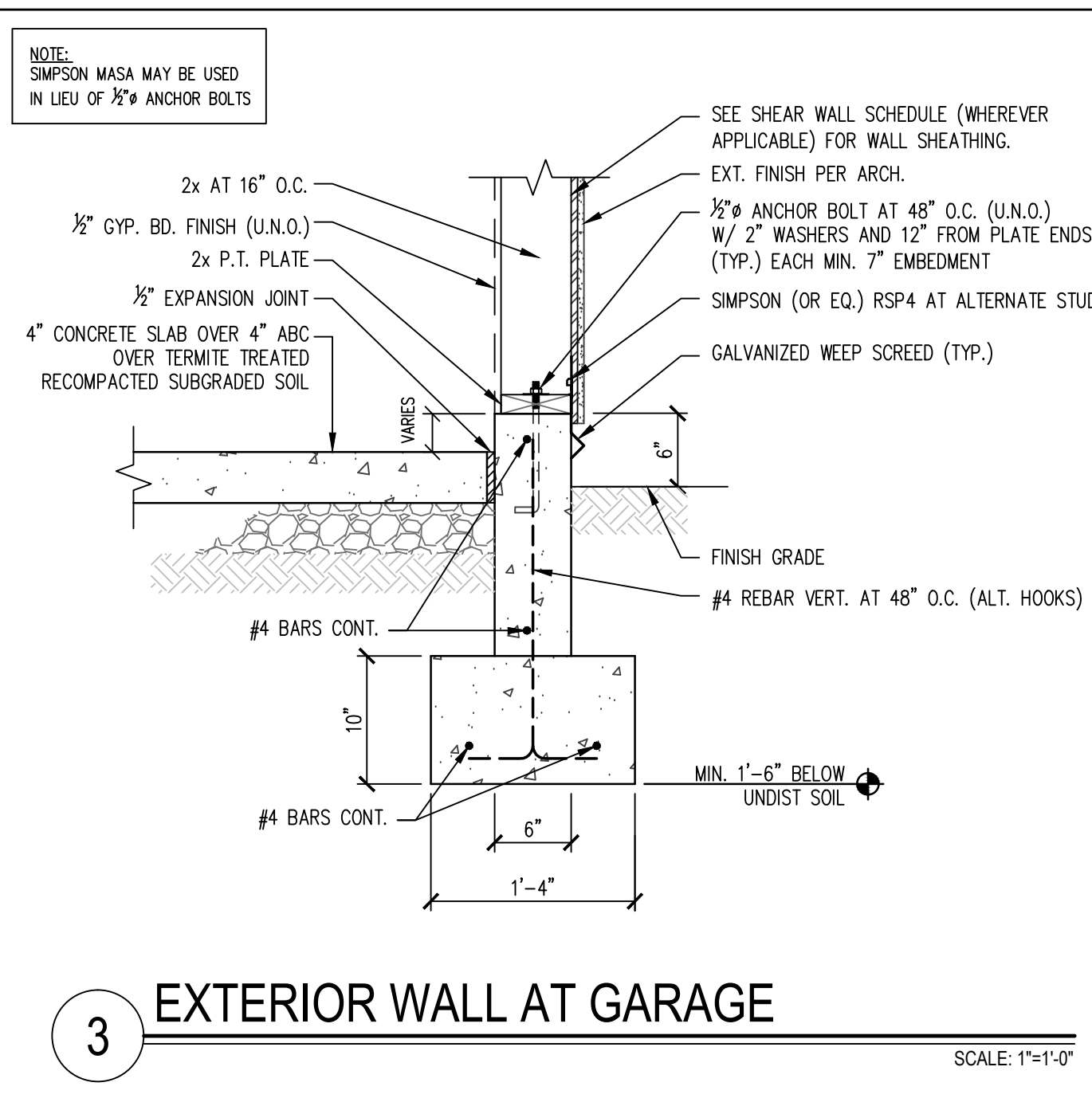




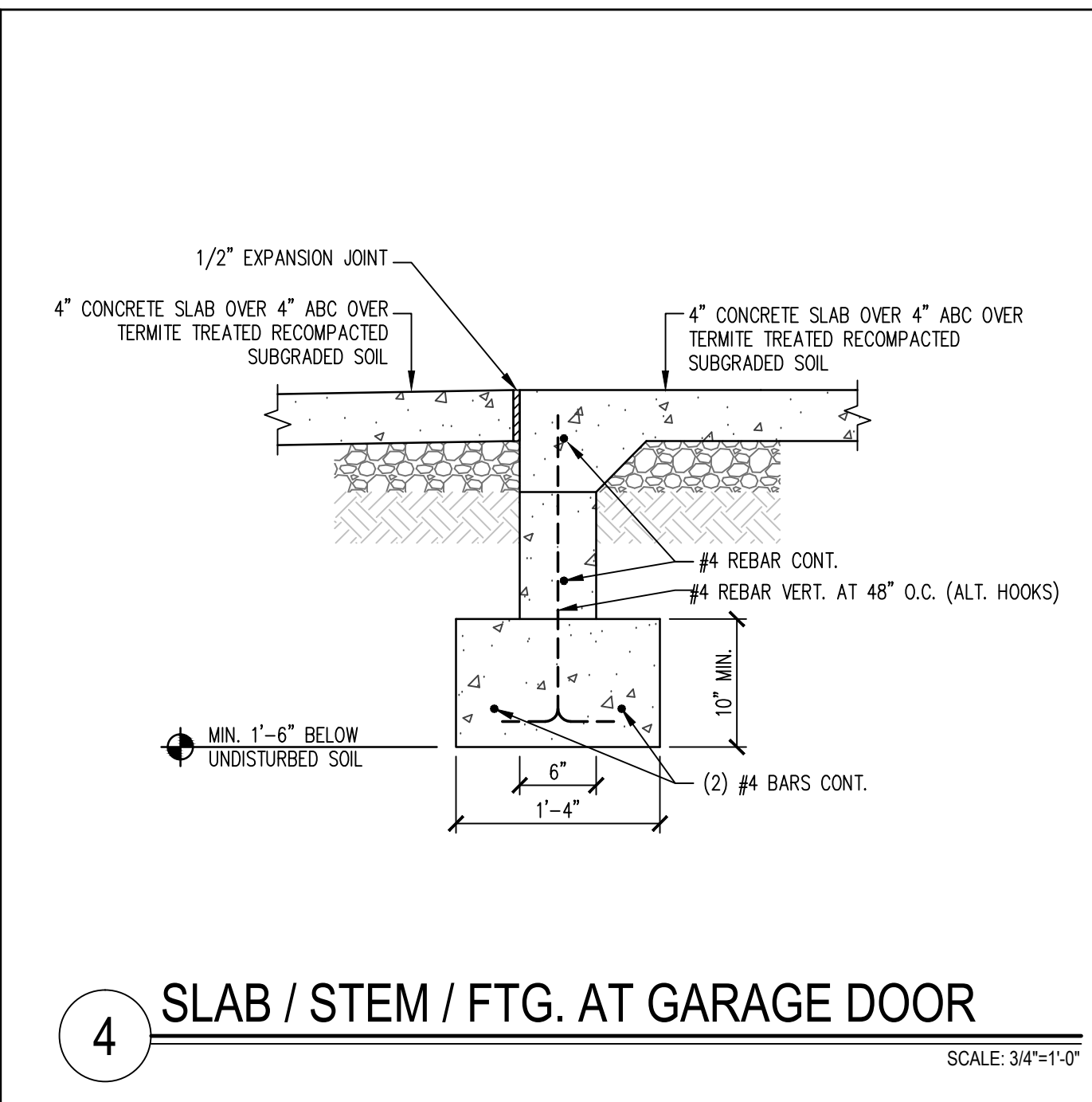
1 4'-0" MAX. 12" CMU CANT. RETAINING WALL SCALE: 3/4"=1'-0"



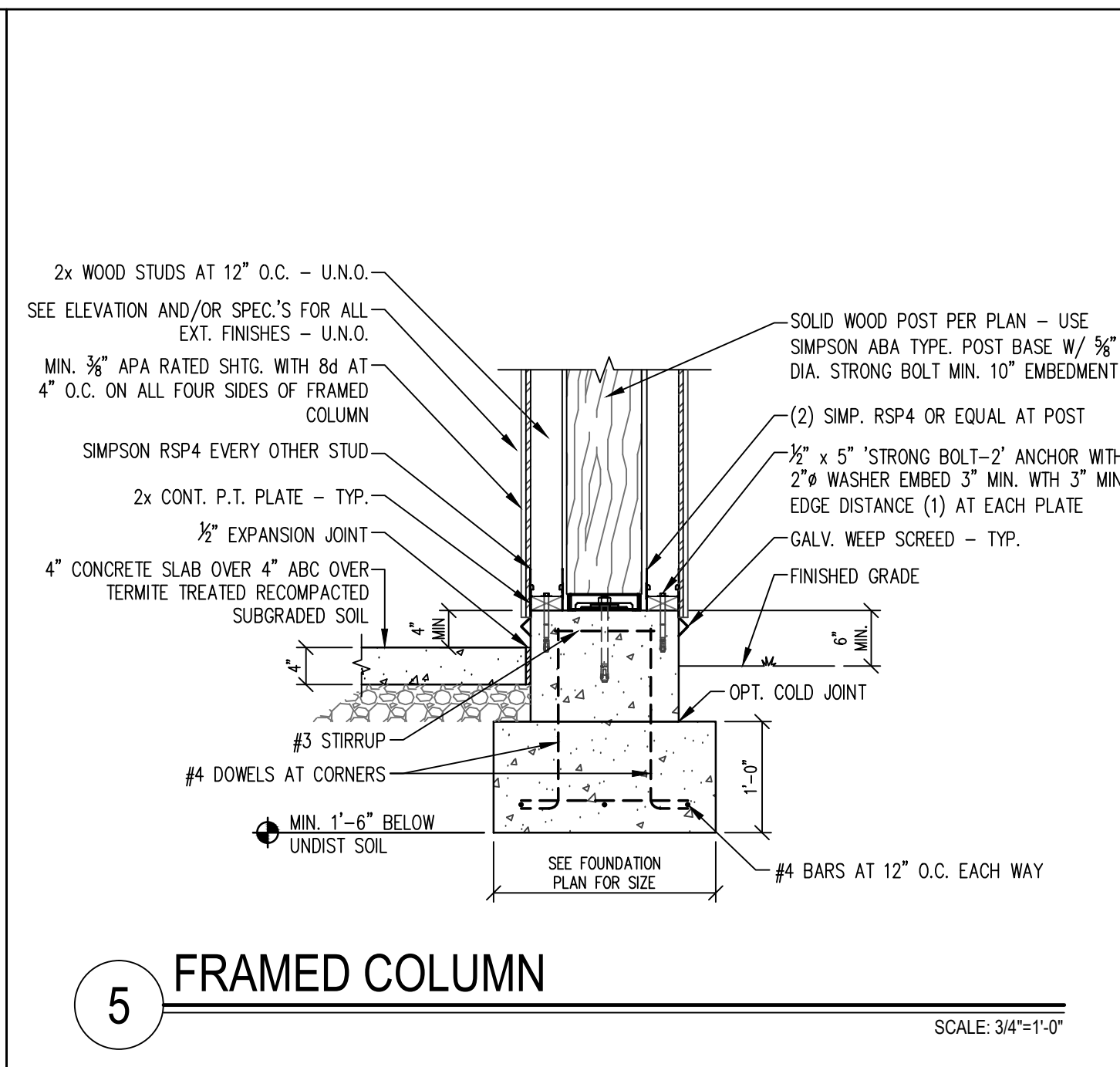
2 THICKENED GARAGE STEM WALL SCALE: 3/4"=1'-0"



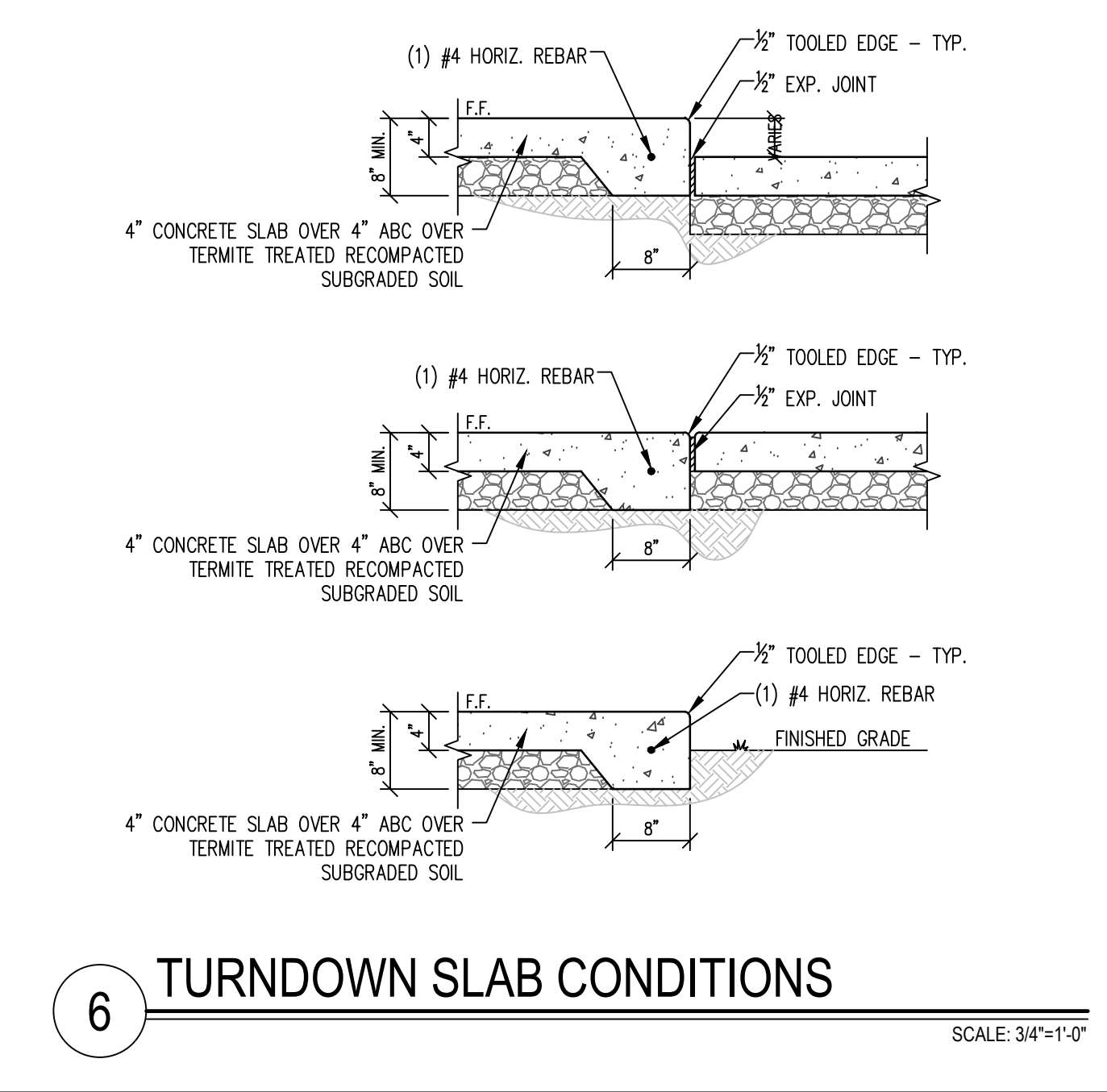
3 EXTERIOR WALL AT GARAGE SCALE: 1"=1'-0"



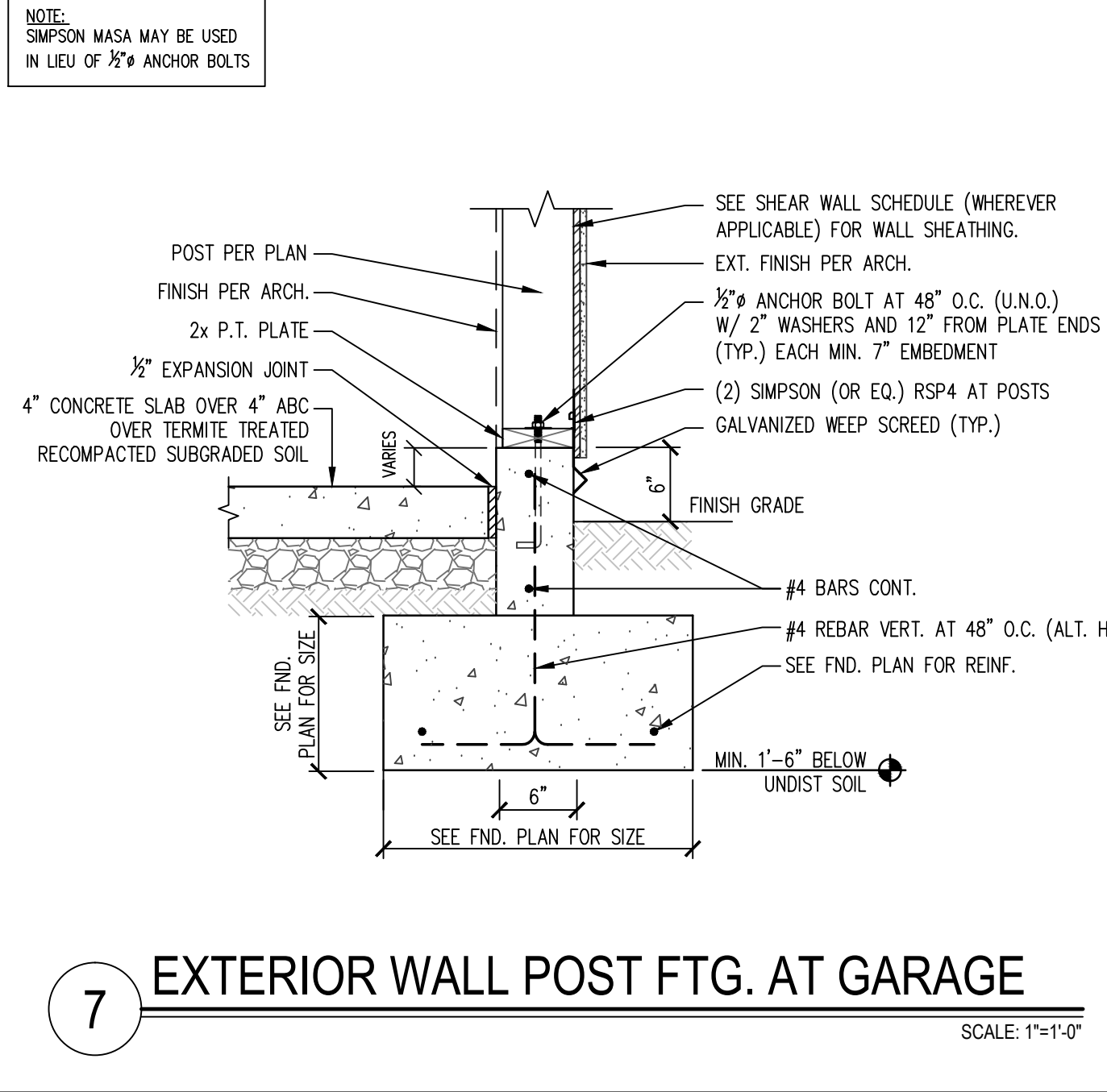
4 SLAB / STEM / FTG. AT GARAGE DOOR SCALE: 3/4"=1'-0"



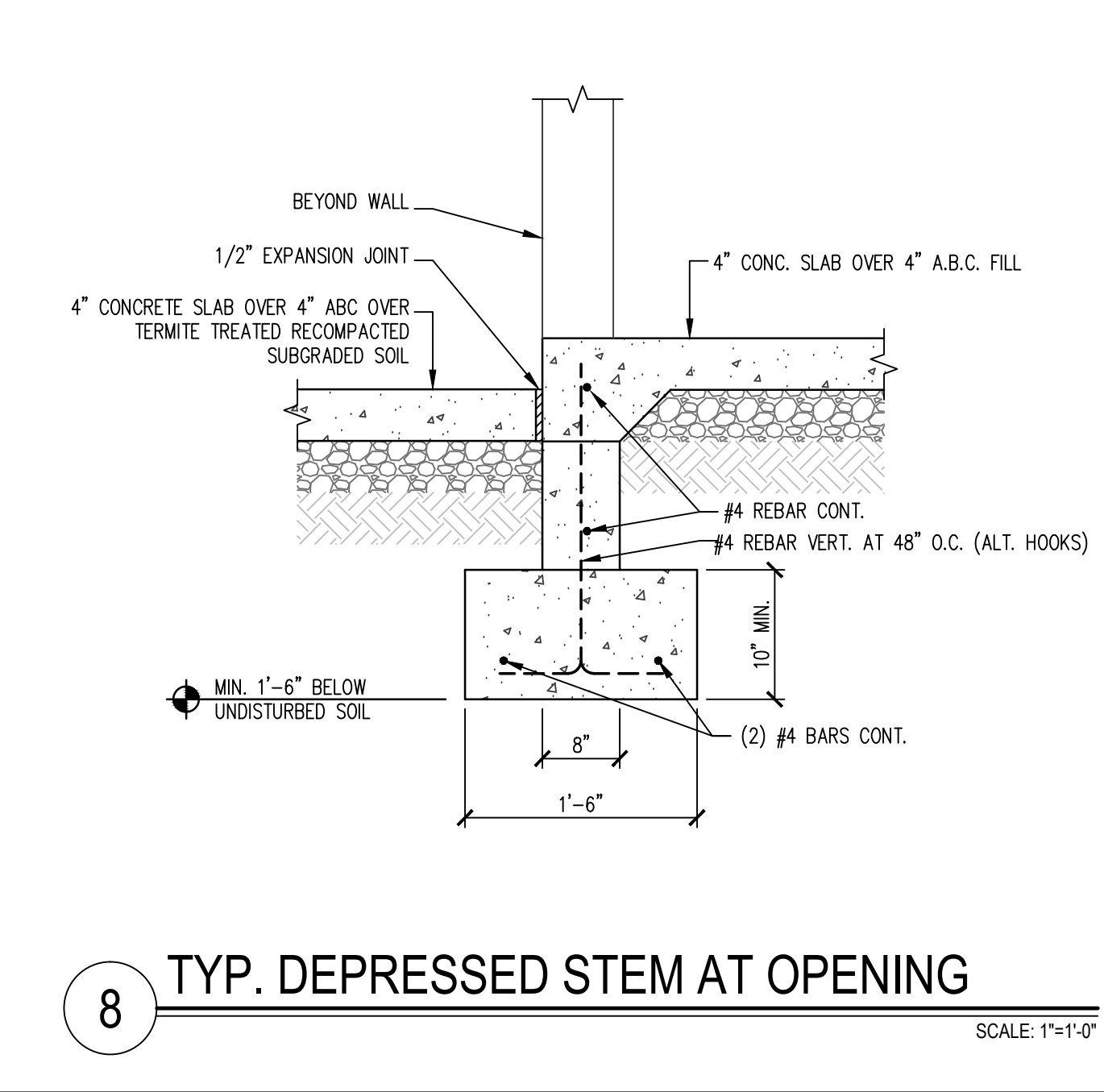
5 FRAMED COLUMN SCALE: 3/4"=1'-0"



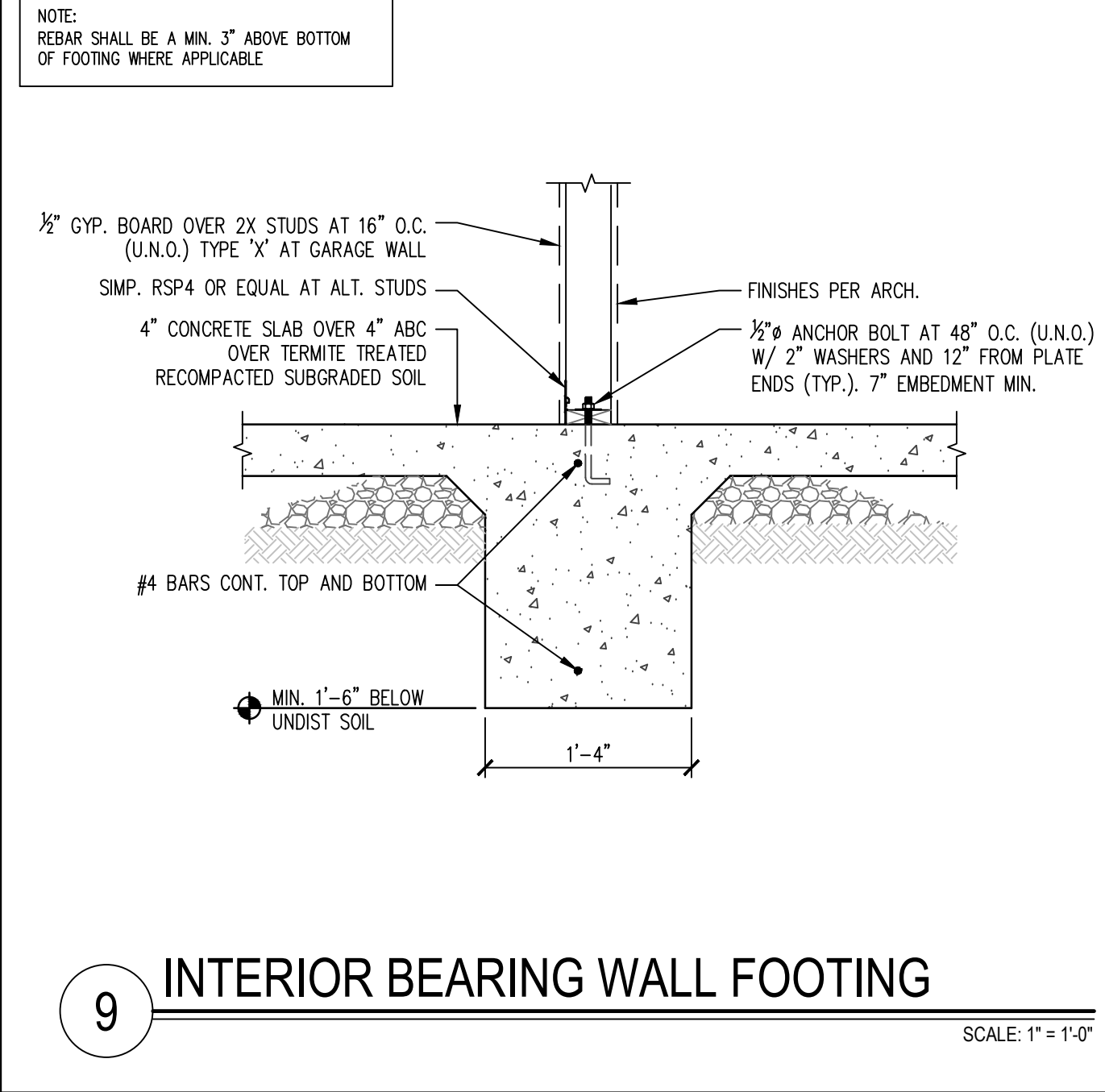
6 TURNDOWN SLAB CONDITIONS SCALE: 3/4"=1'-0"



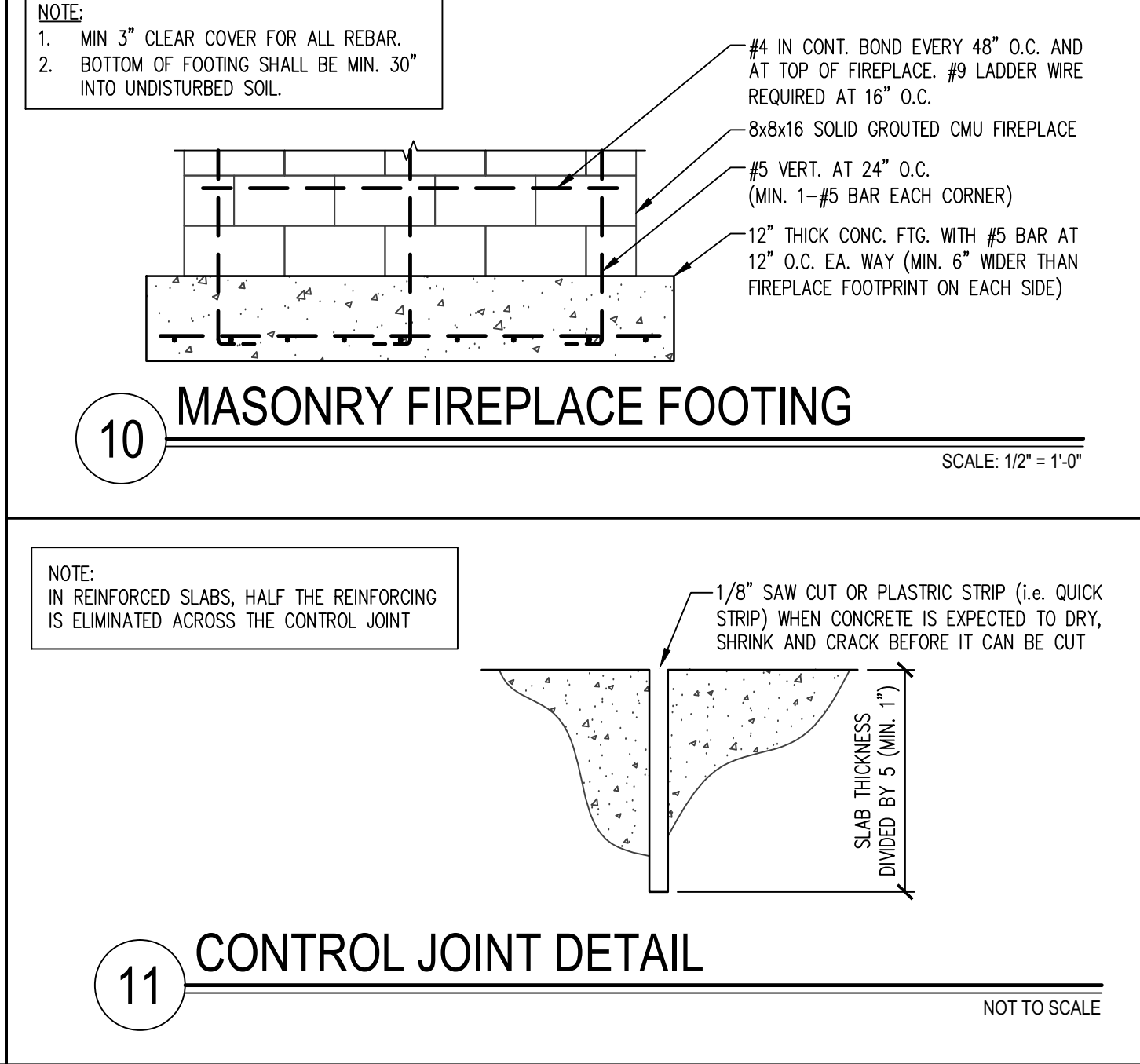
7 EXTERIOR WALL POST FTG. AT GARAGE SCALE: 1"=1'-0"



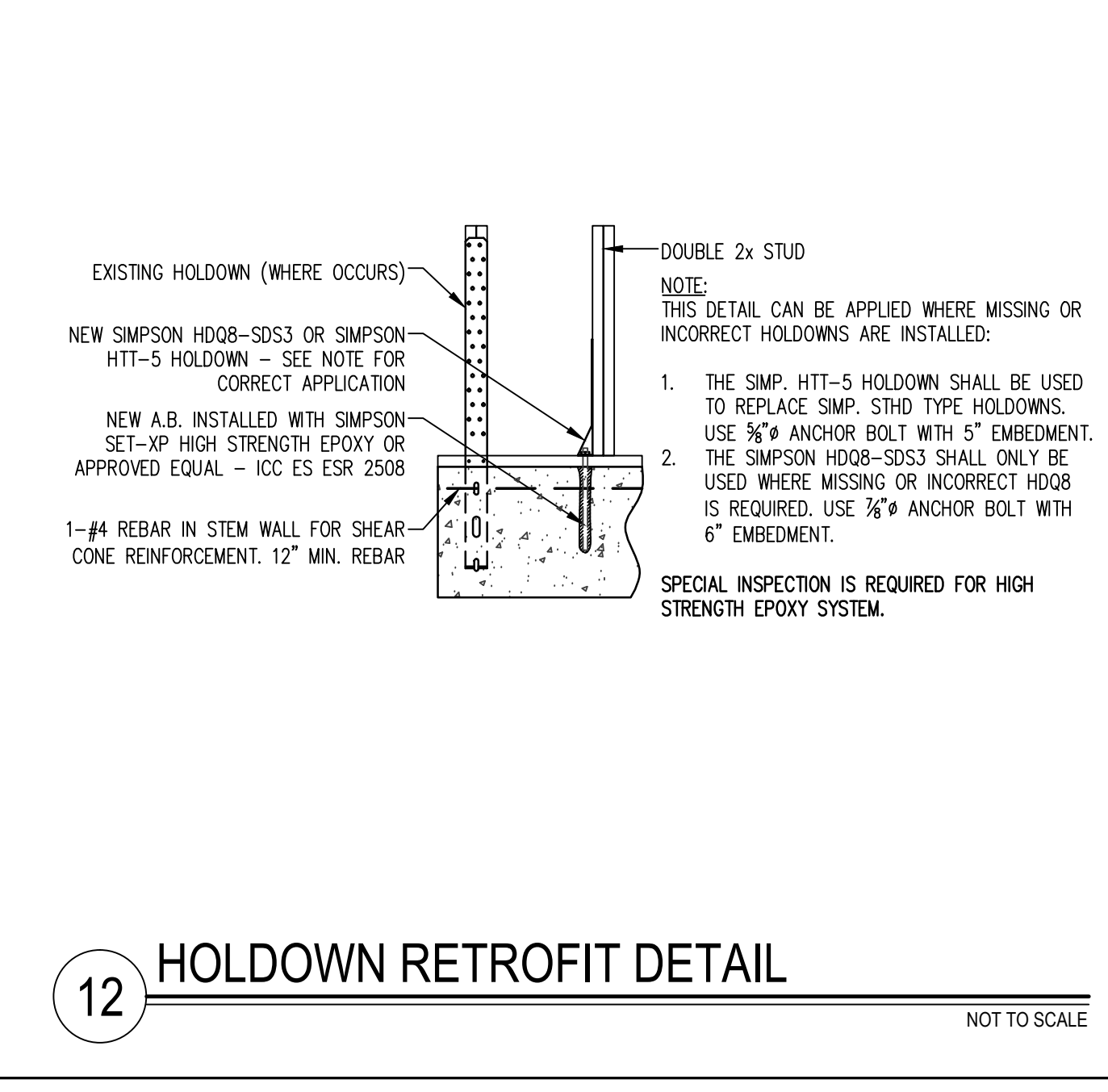
8 TYP. DEPRESSED STEM AT OPENING SCALE: 1"=1'-0"



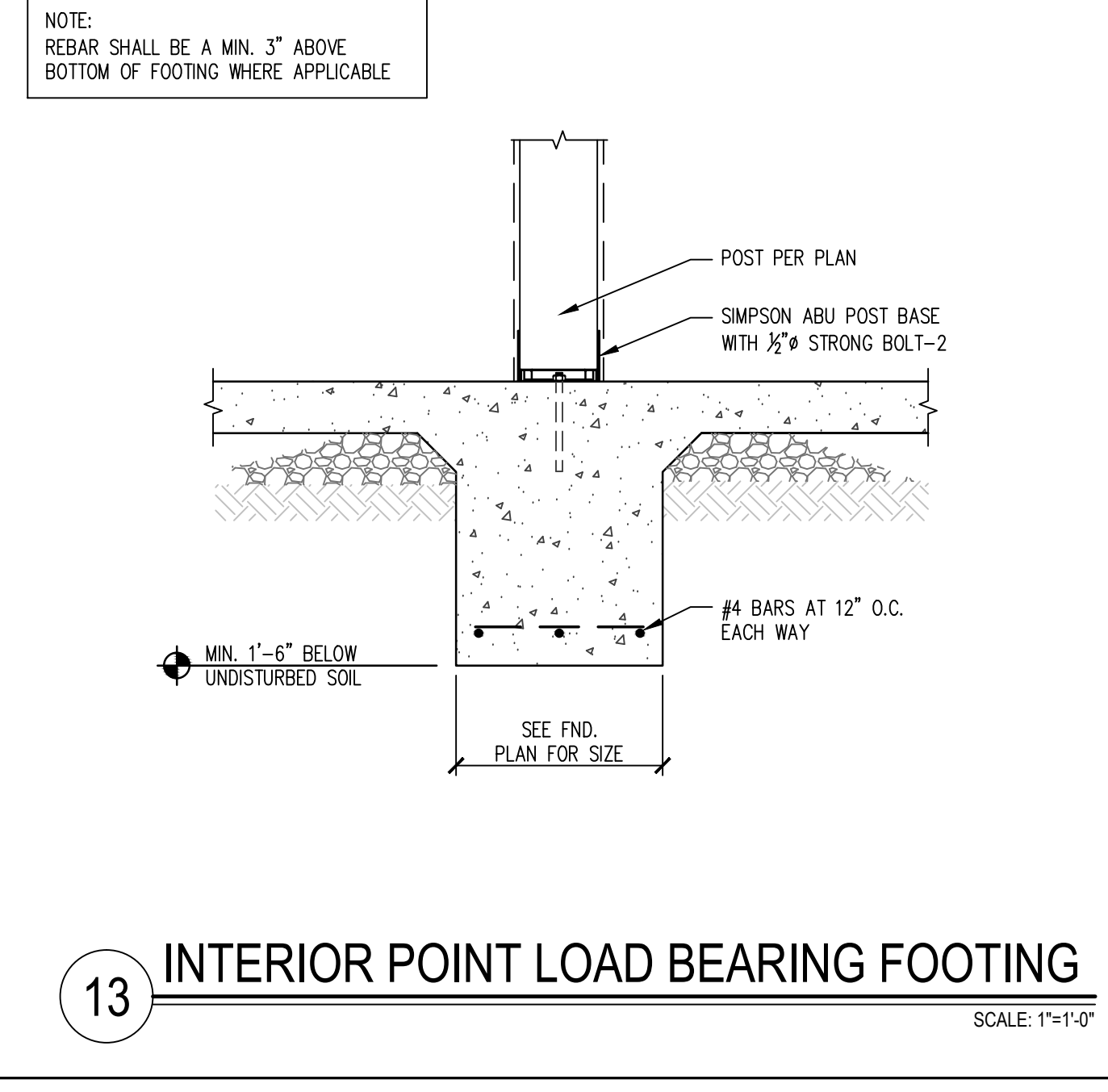
9 INTERIOR BEARING WALL FOOTING SCALE: 1"=1'-0"



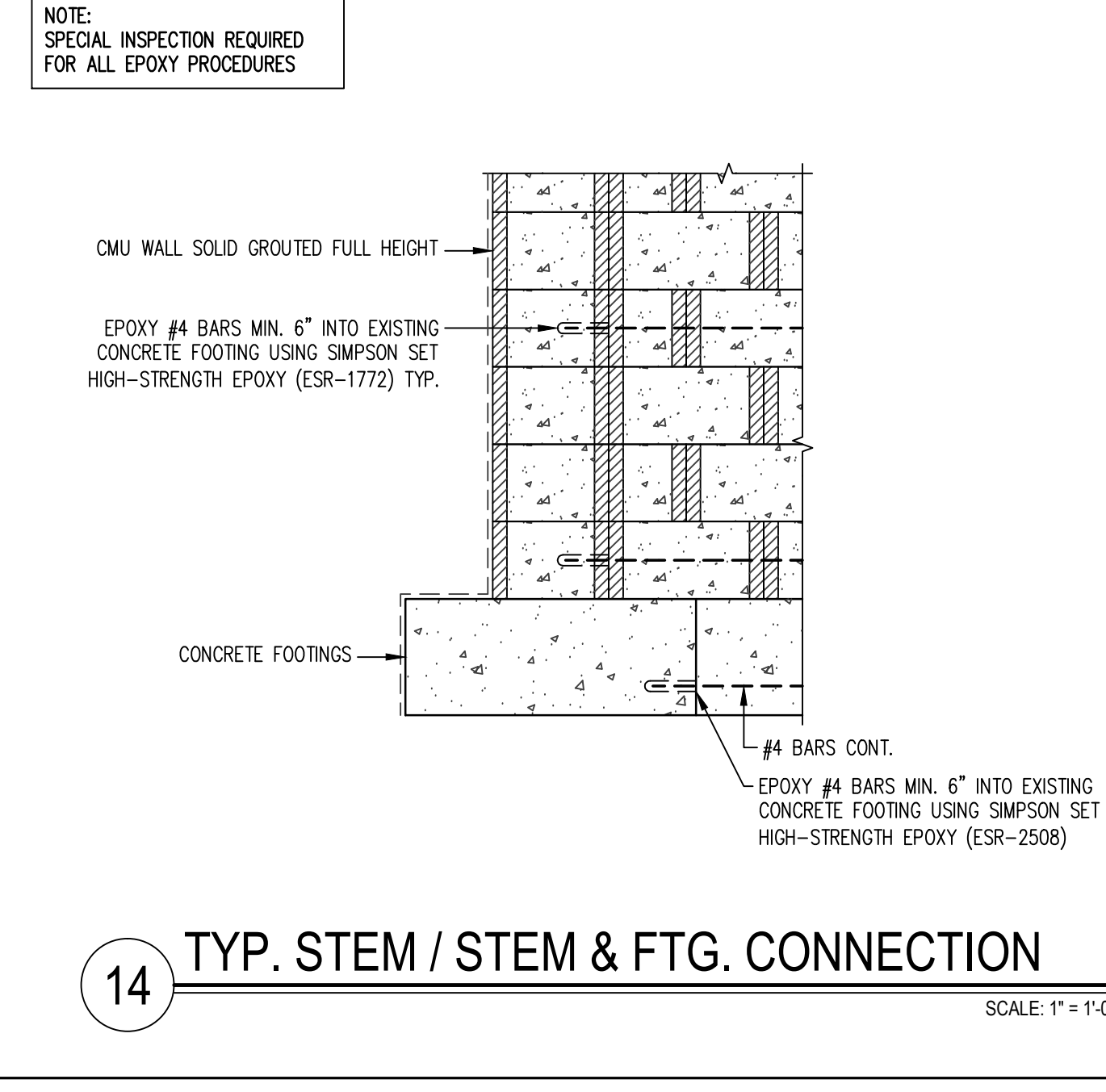
10 MASONRY FIREPLACE FOOTING SCALE: 1/2"=1'-0"



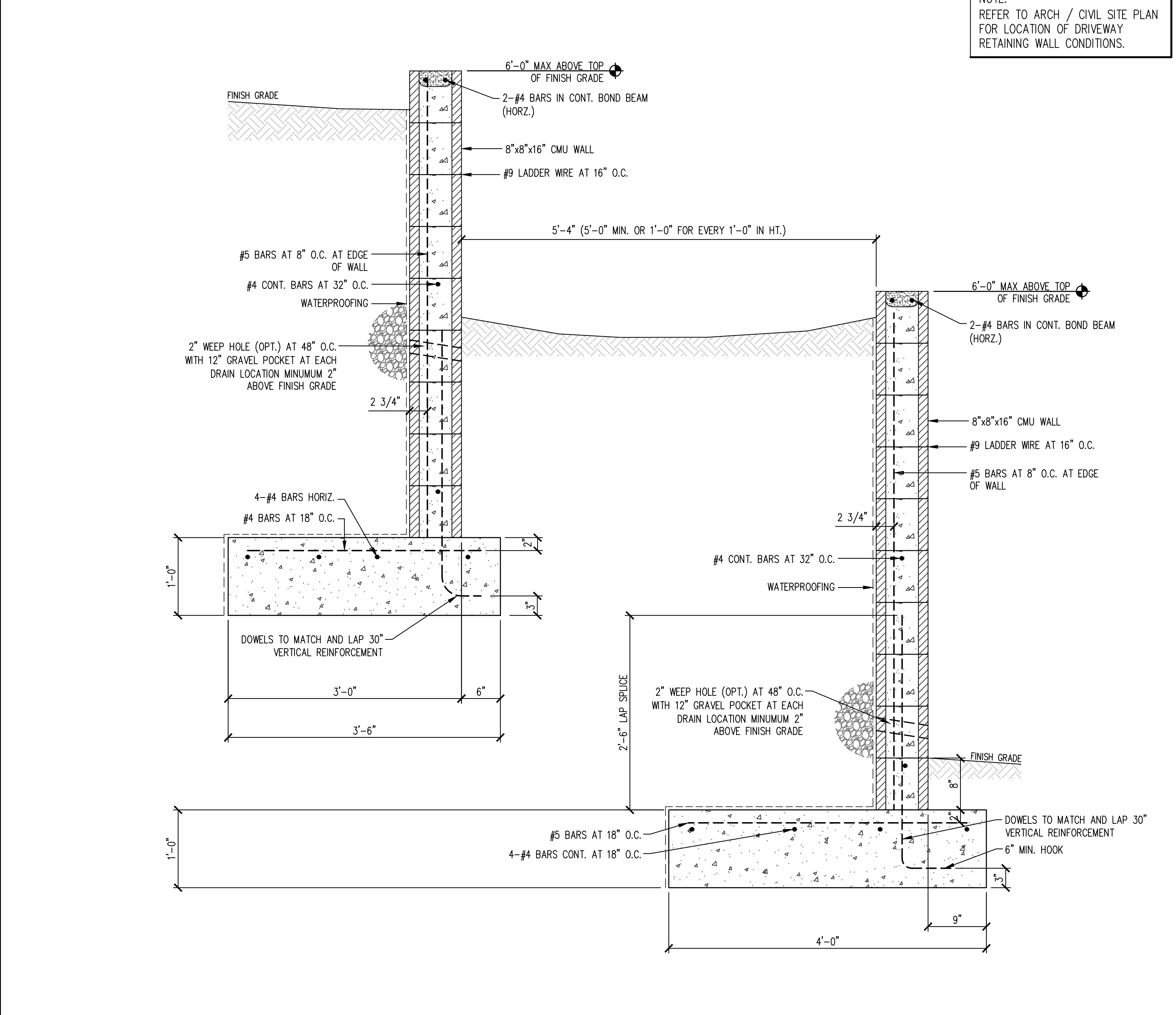
12 HOLDOWN RETROFIT DETAIL NOT TO SCALE



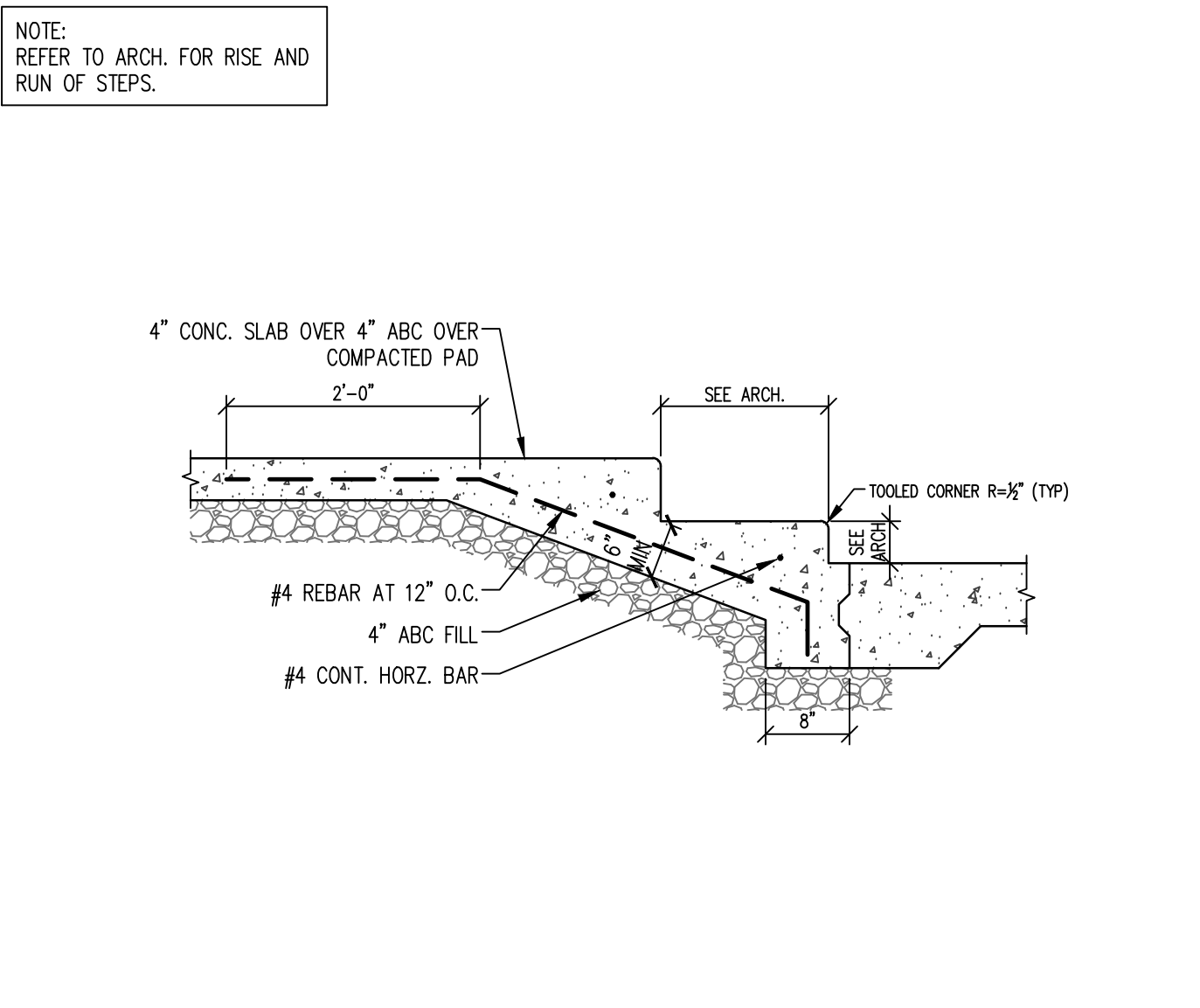
13 INTERIOR POINT LOAD BEARING FOOTING SCALE: 1"=1'-0"



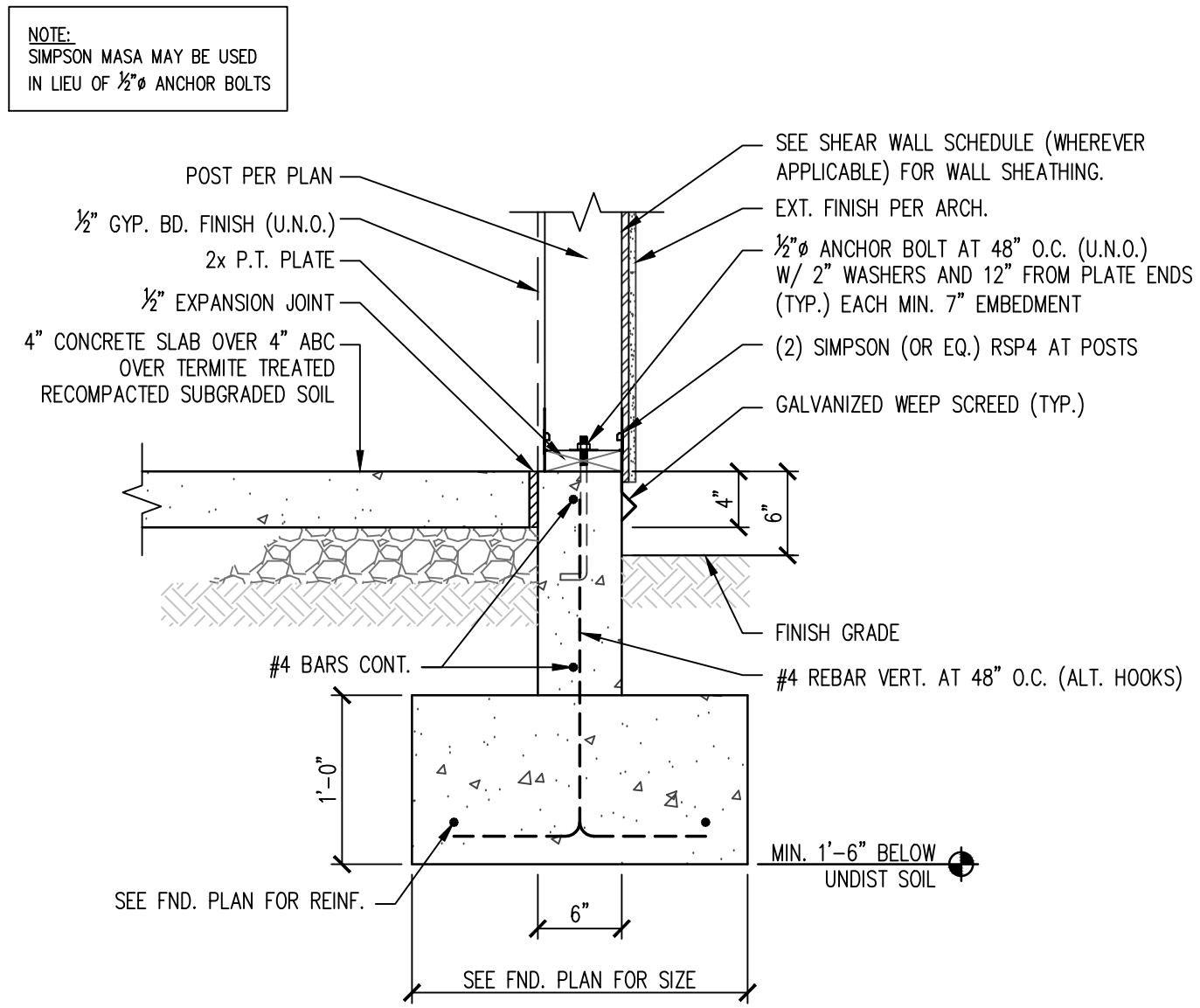
14 TYP. STEM / STEM & FTG. CONNECTION SCALE: 1"=1'-0"



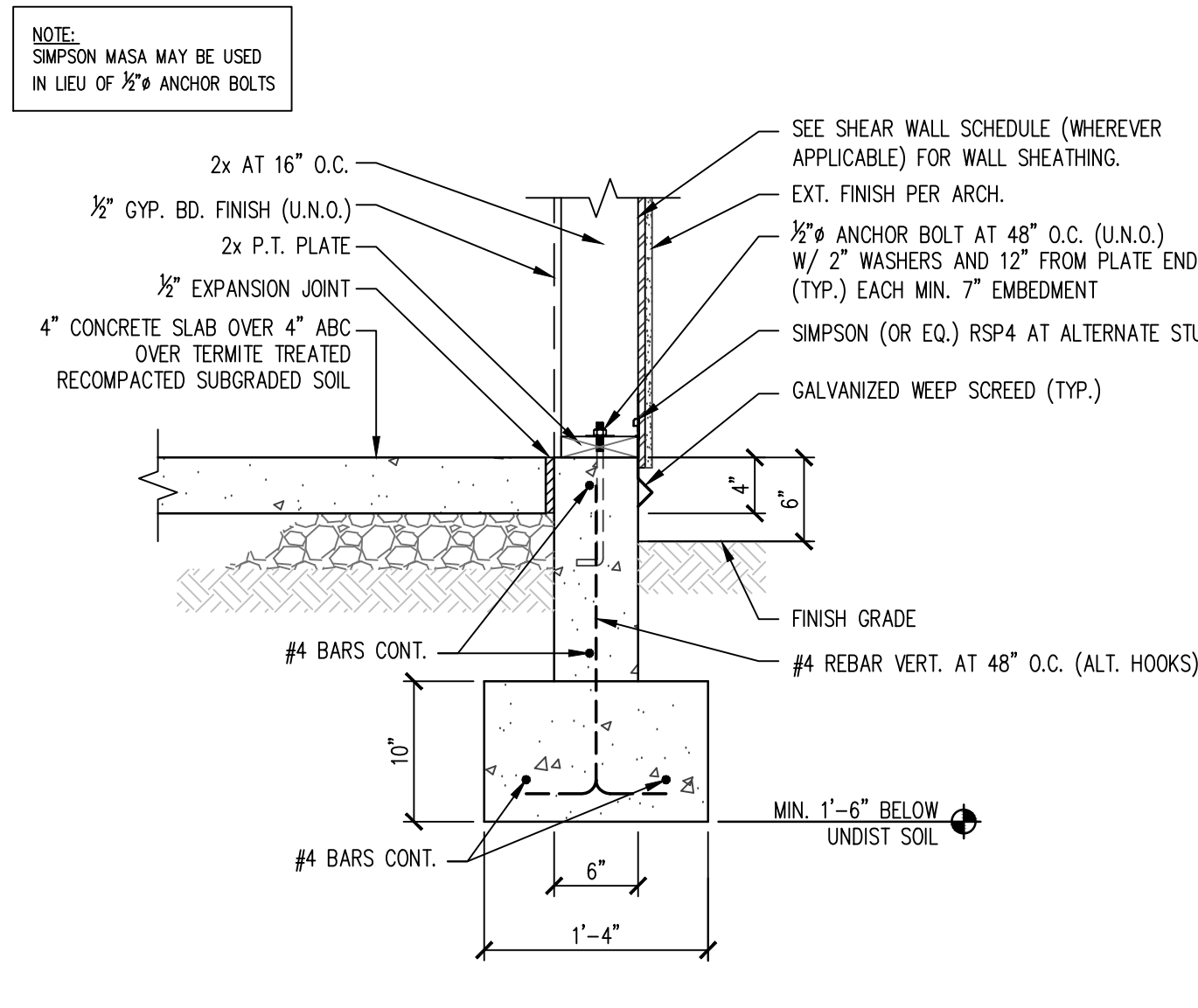
18 TYP. MULTI-TIER CMU RETAINING WALL NOT TO SCALE



15 TYP. CONCRETE STAIRS SCALE: 3/4"=1'-0"



16 EXTERIOR WALL AT POST SCALE: 1"=1'-0"



17 EXTERIOR WALL AND FOOTING SCALE: 1"=1'-0"

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PROFESSIONAL SEAL  
 1937  
 WILLIAM L. GILBERT  
 State Seal: 11-9-2014

REVISIONS

1	HOA COORDINATION	1.19.2023
2	RETAINING WALL DETAIL	5.1.2024
3	OWNER CHANGES	11.19.2024

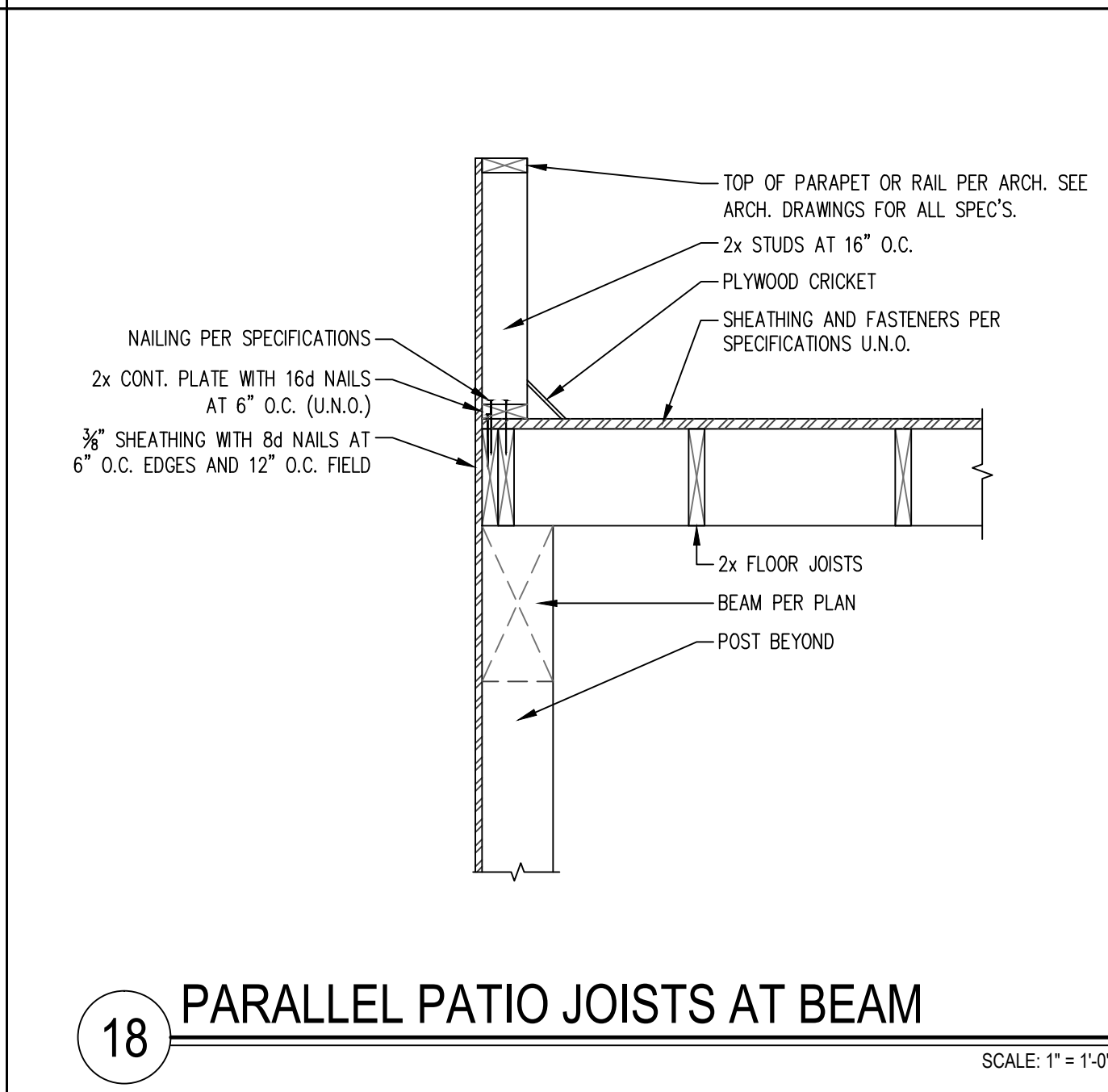
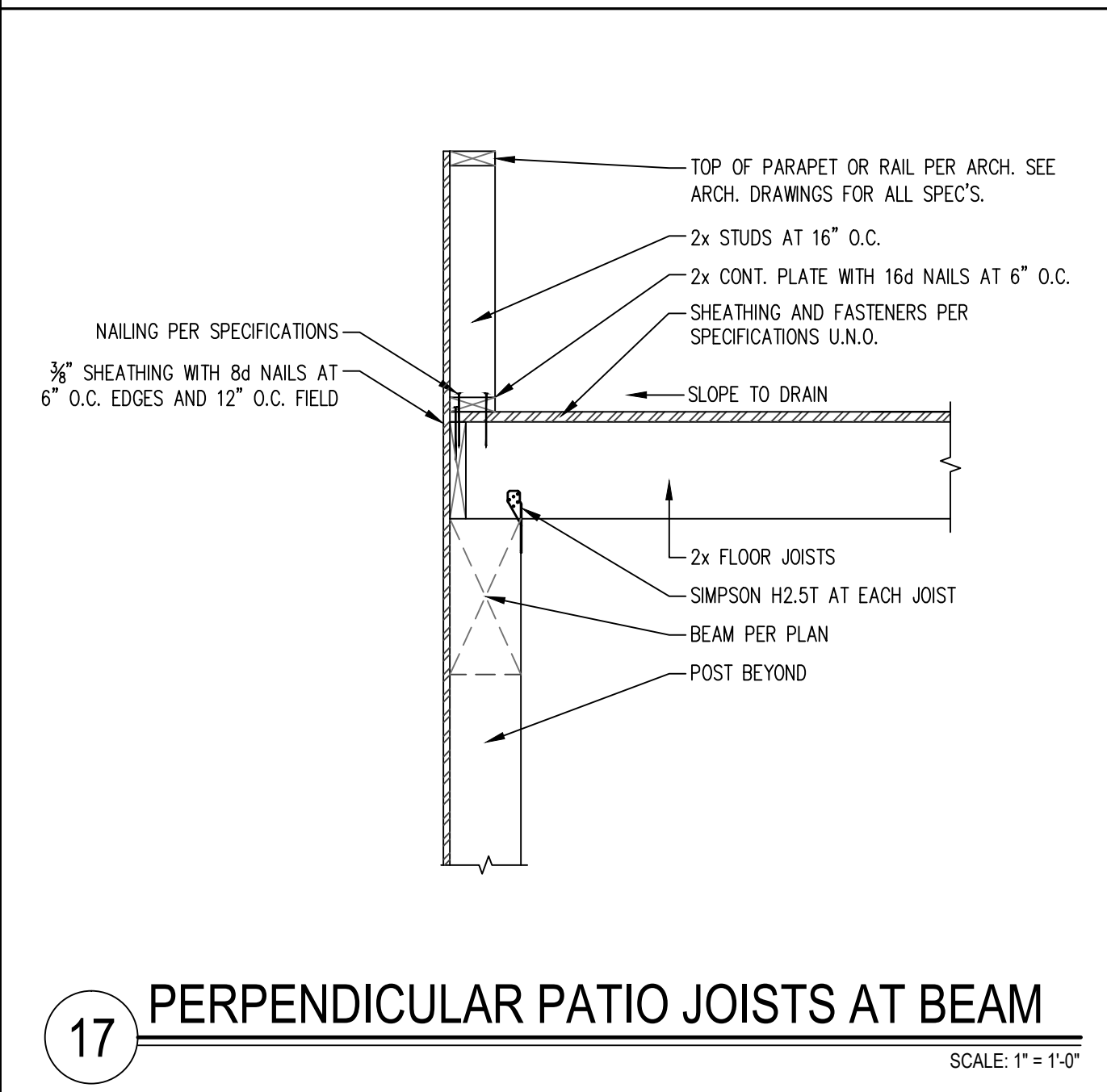
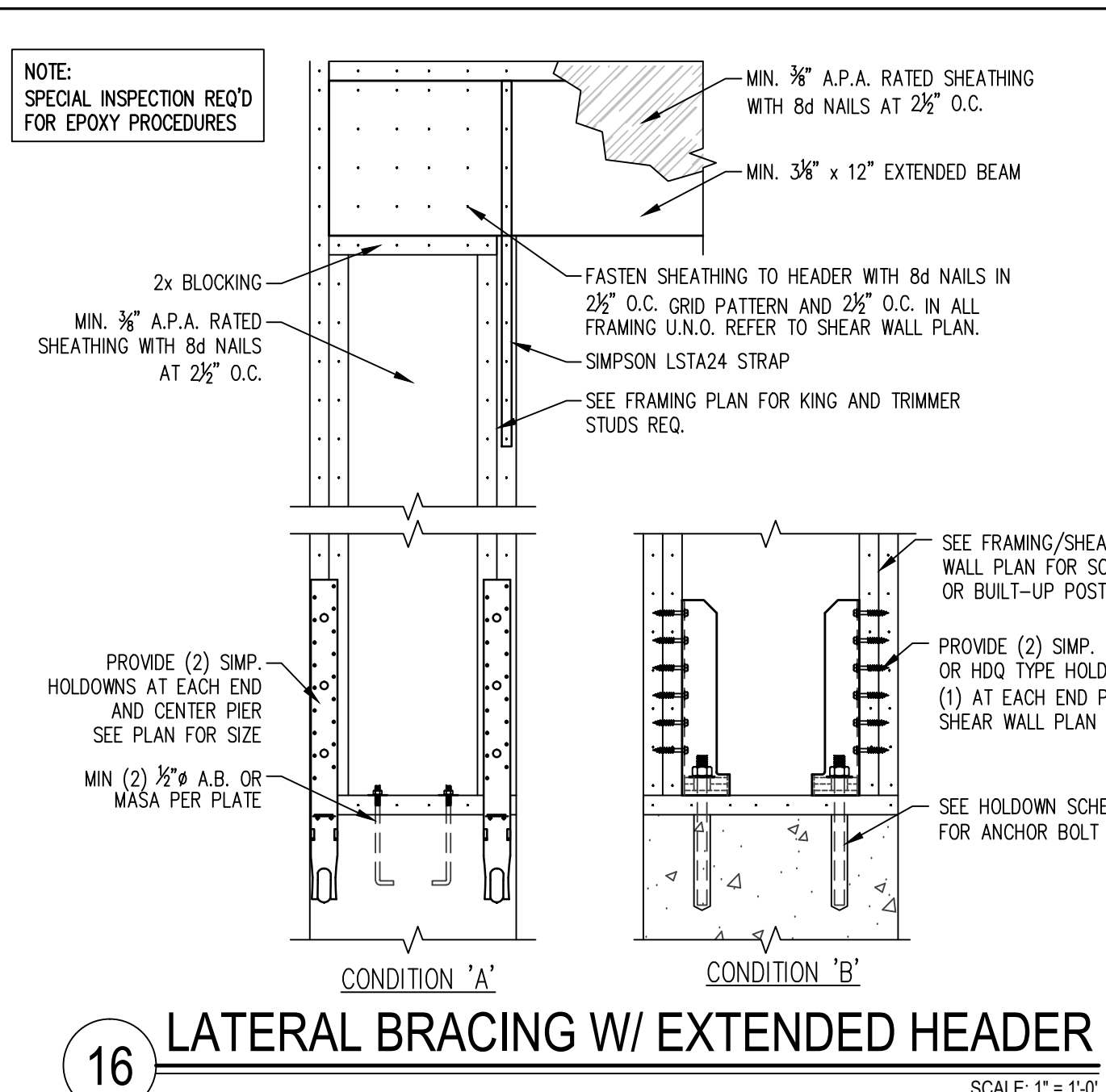
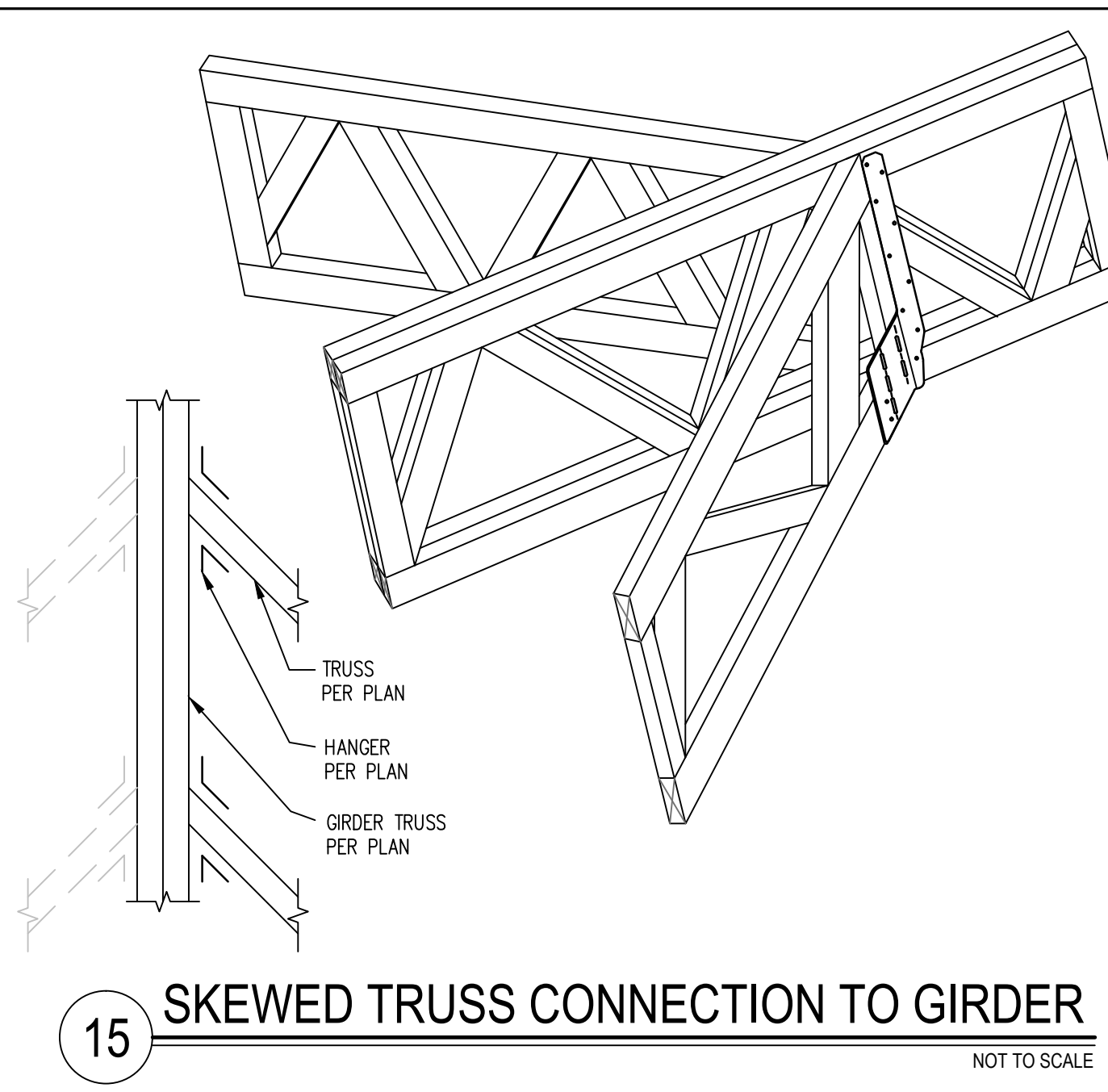
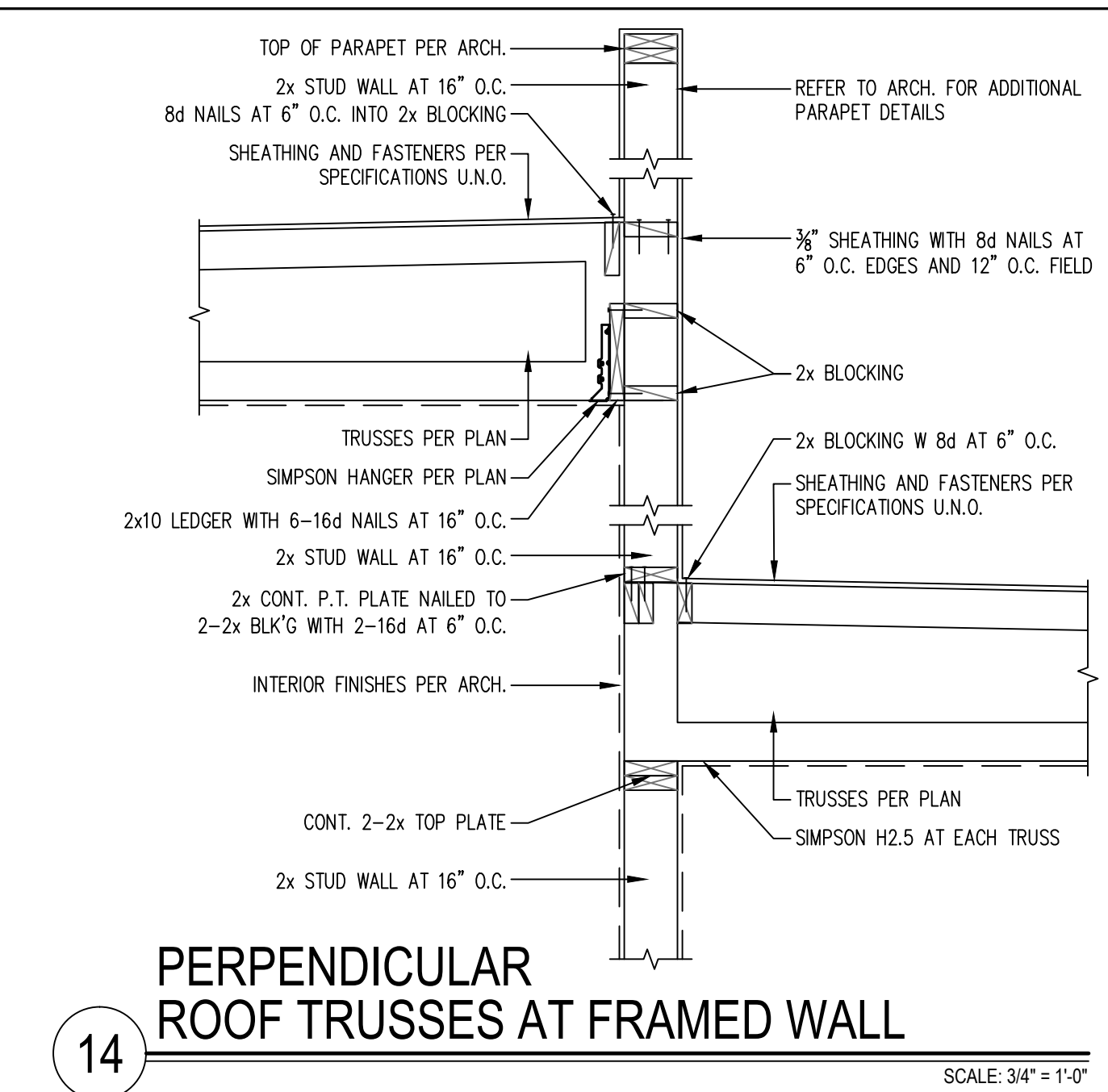
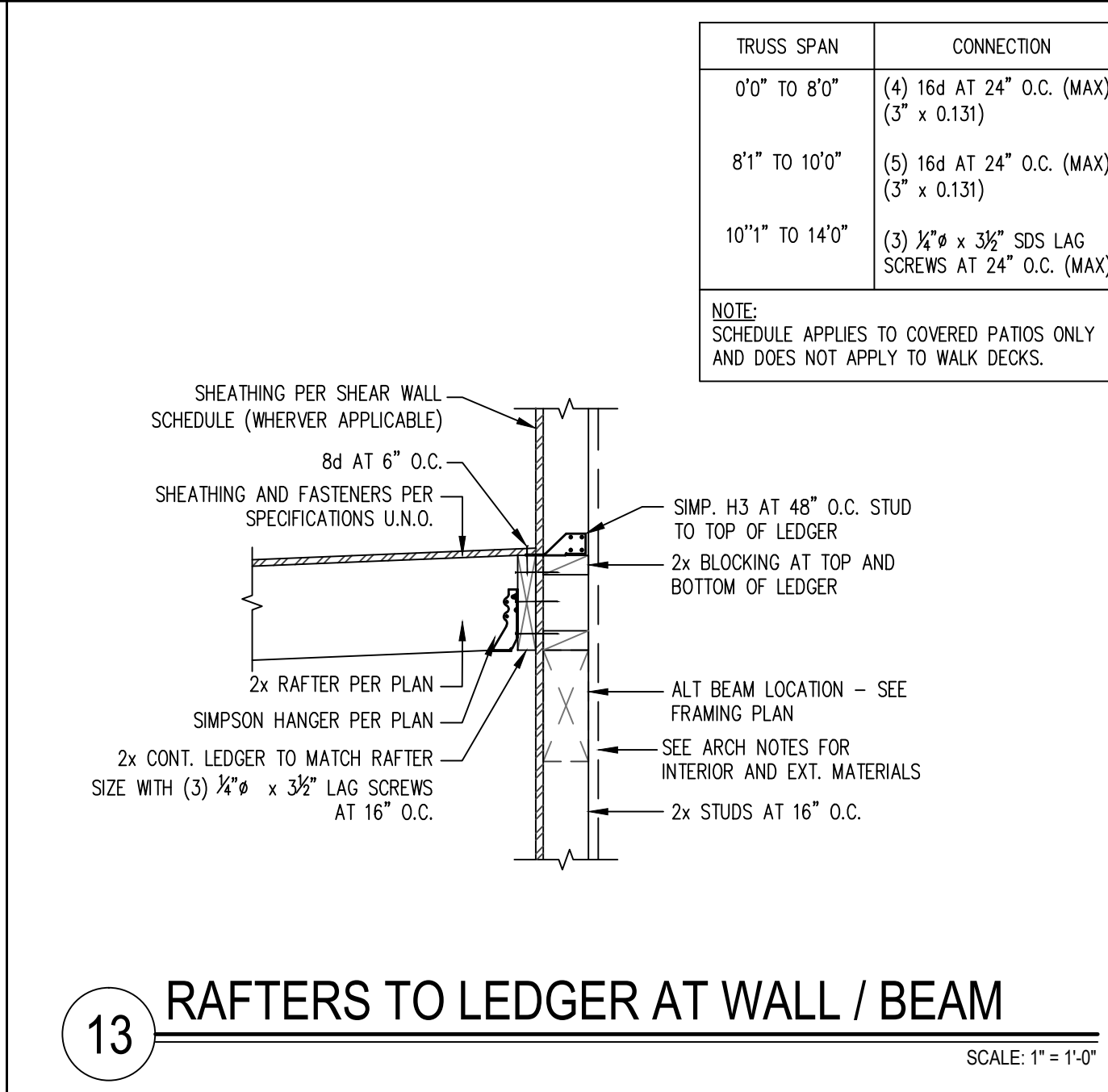
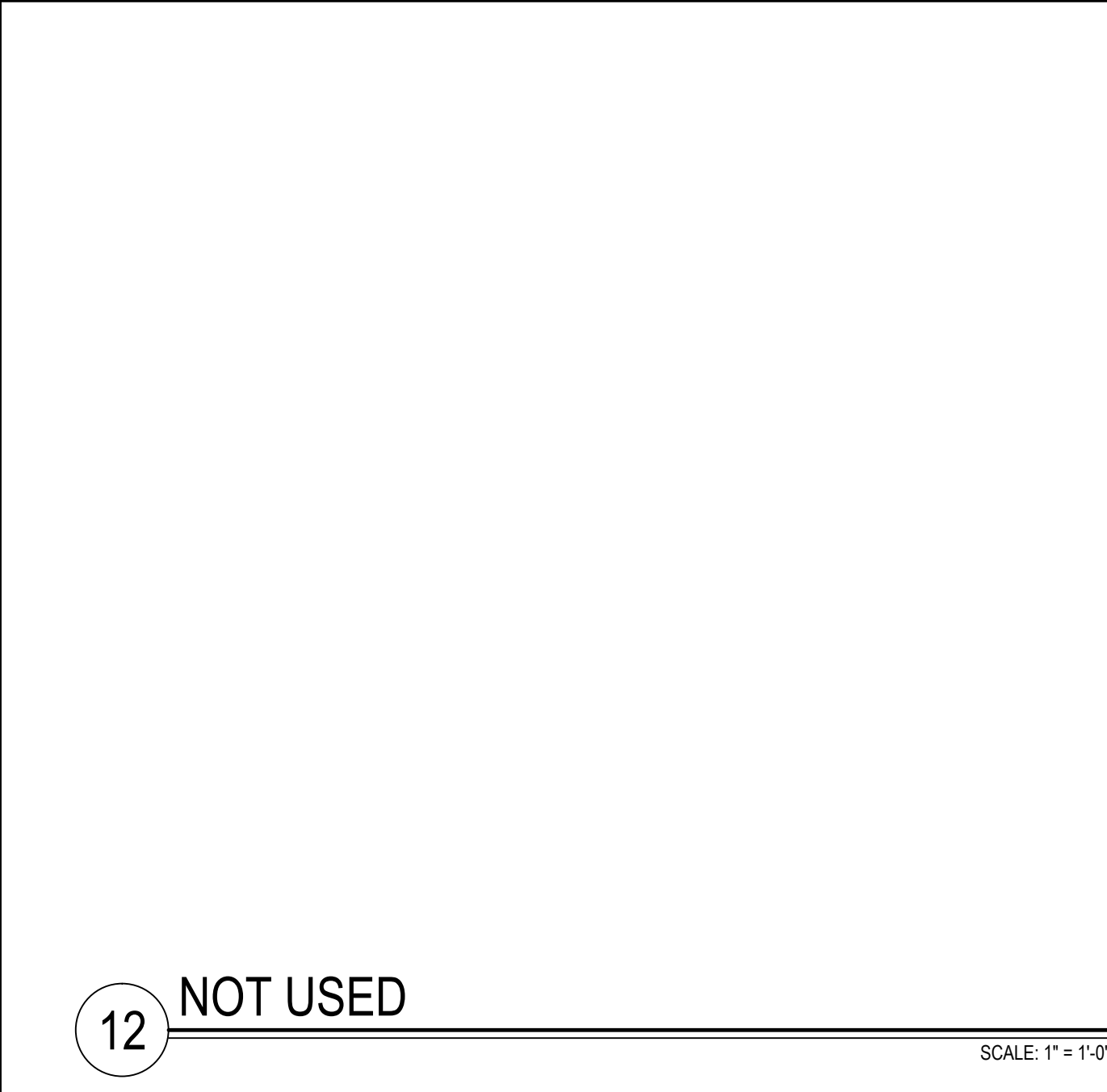
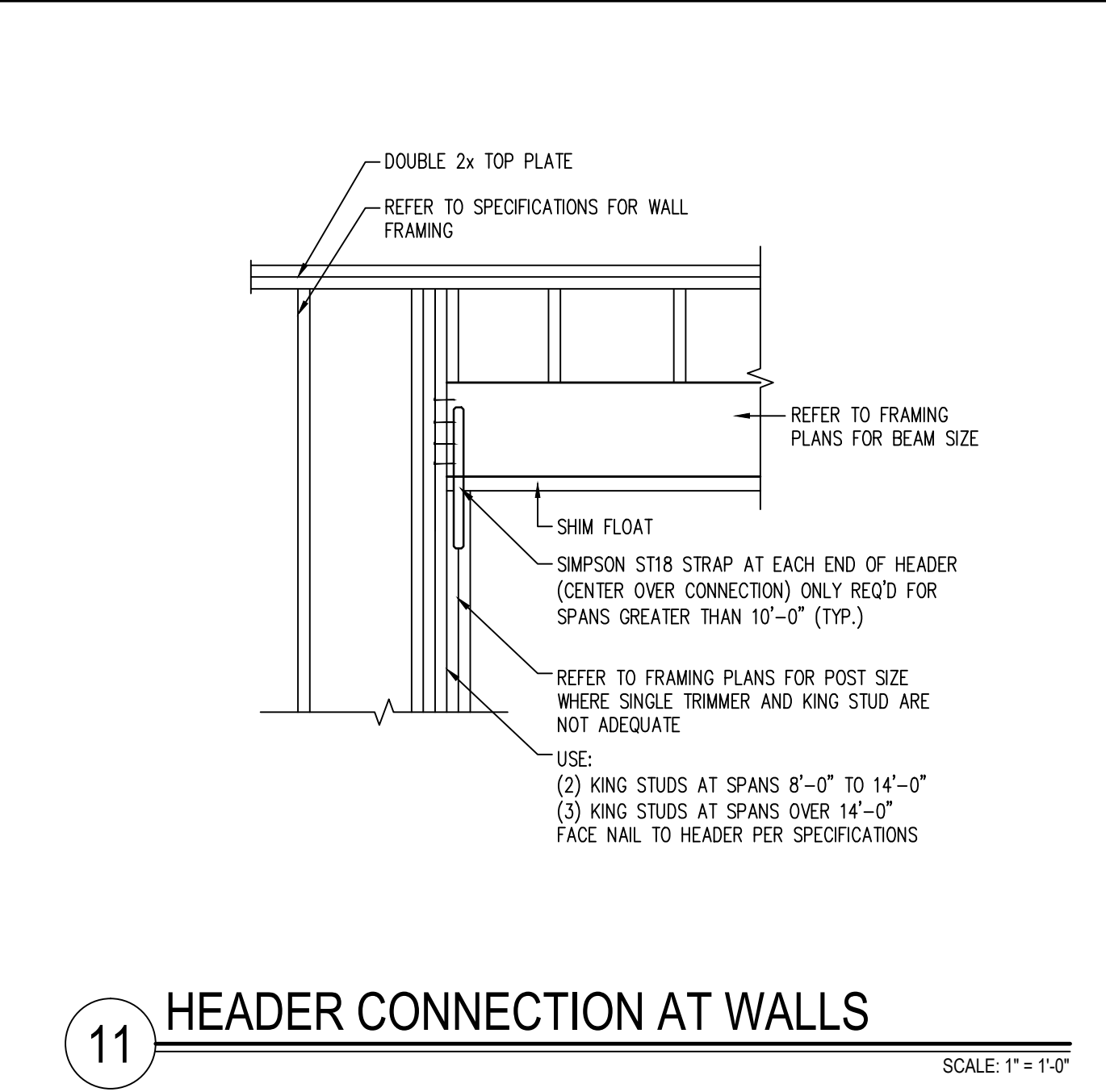
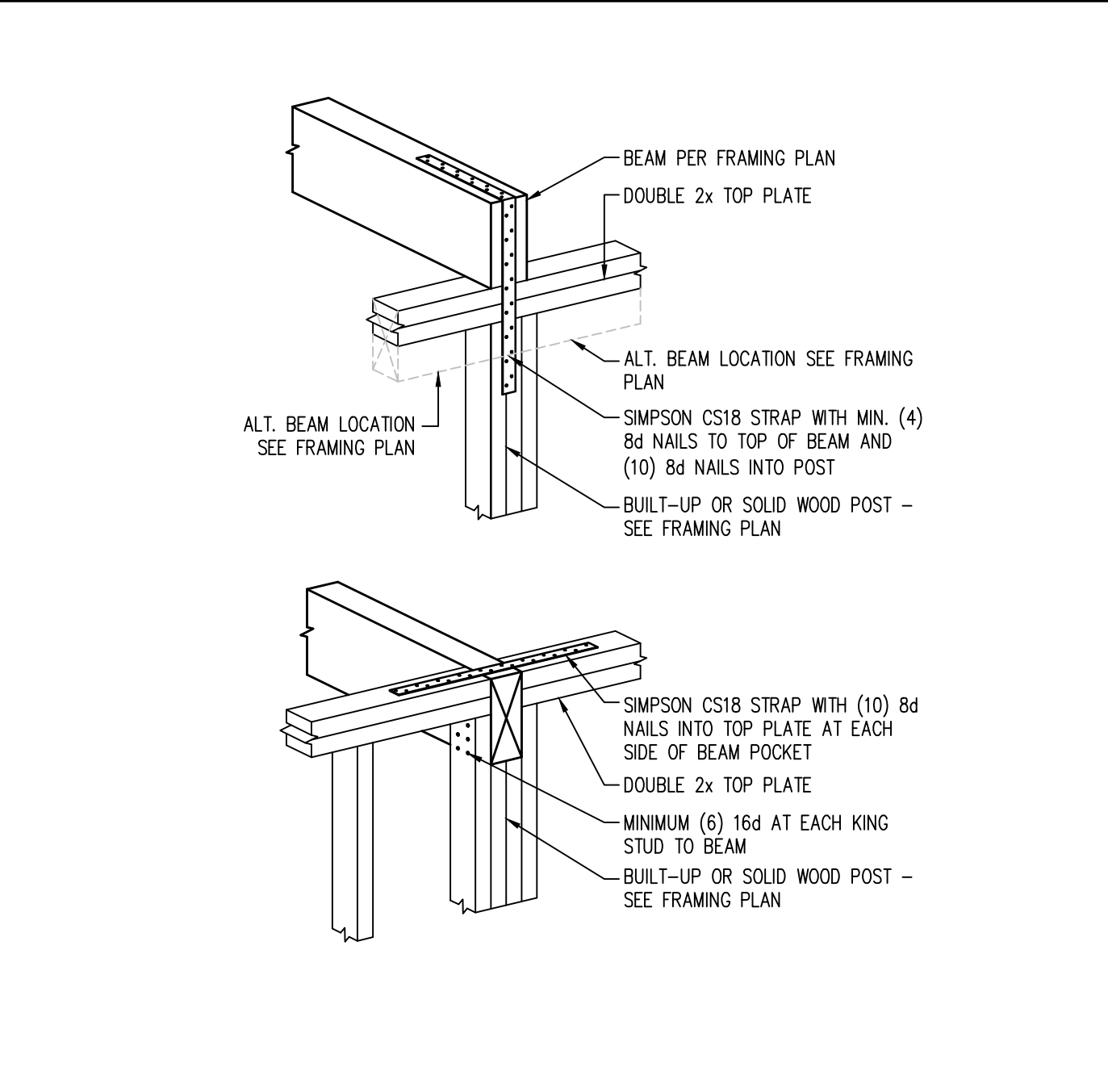
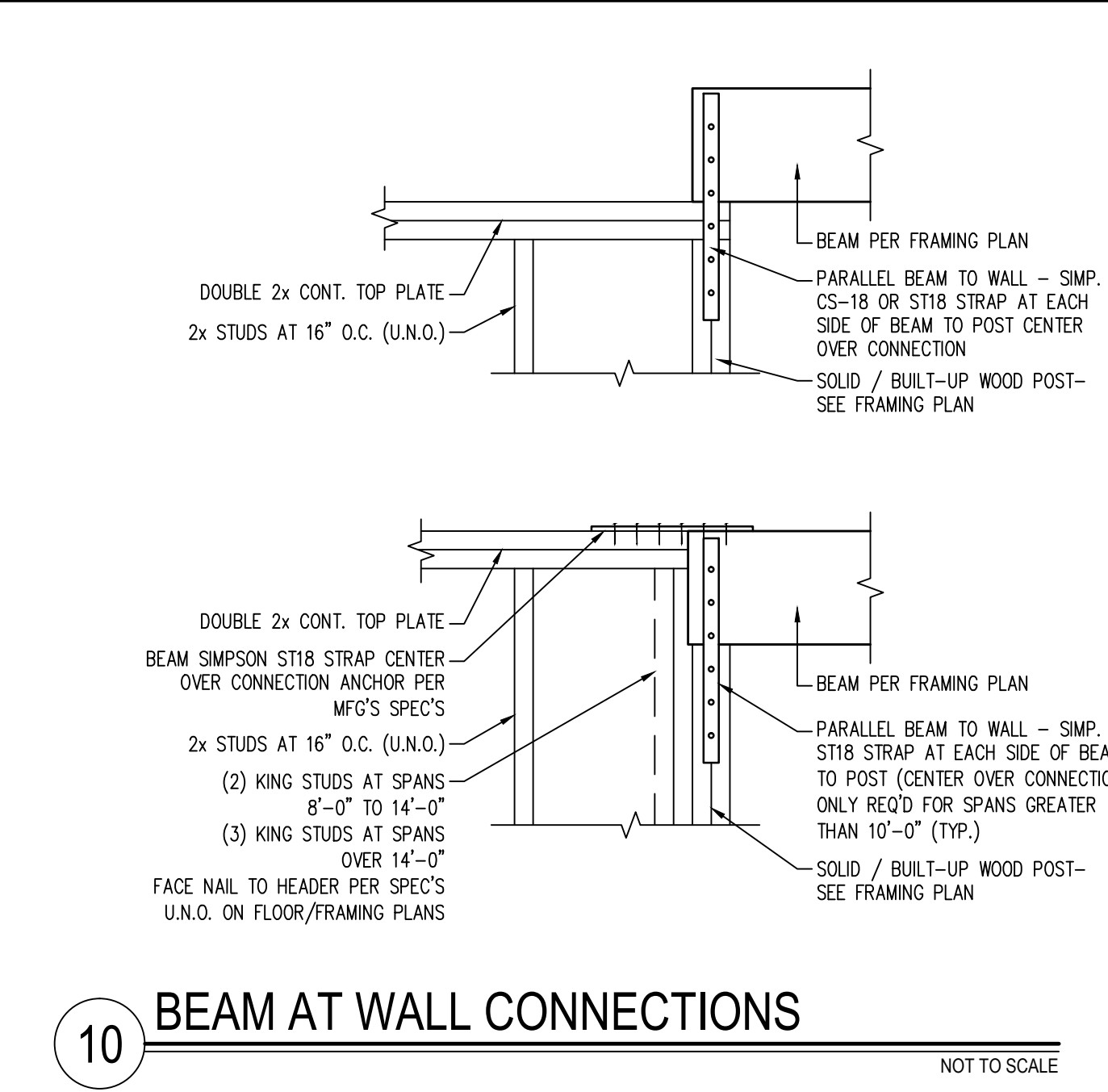
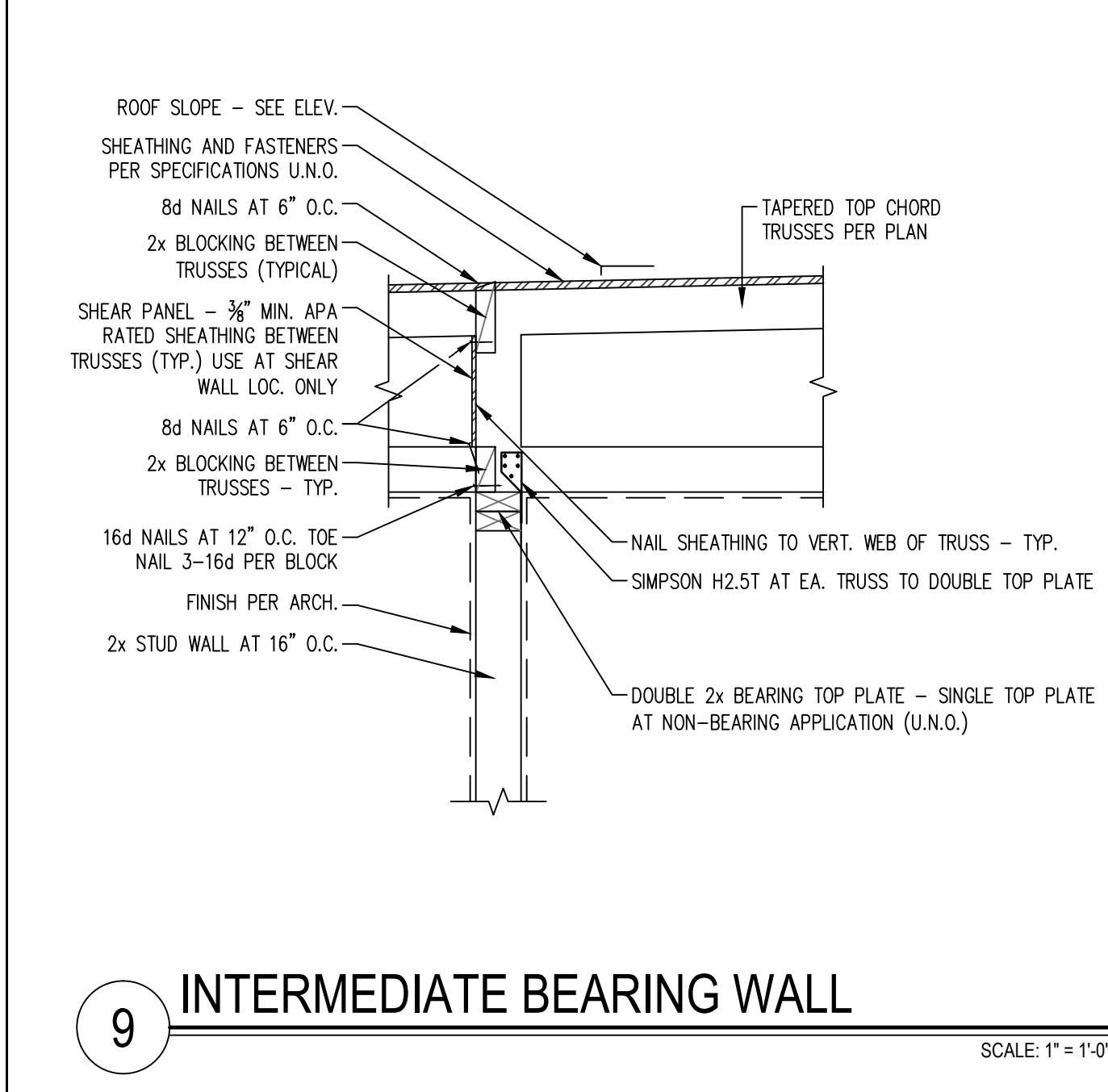
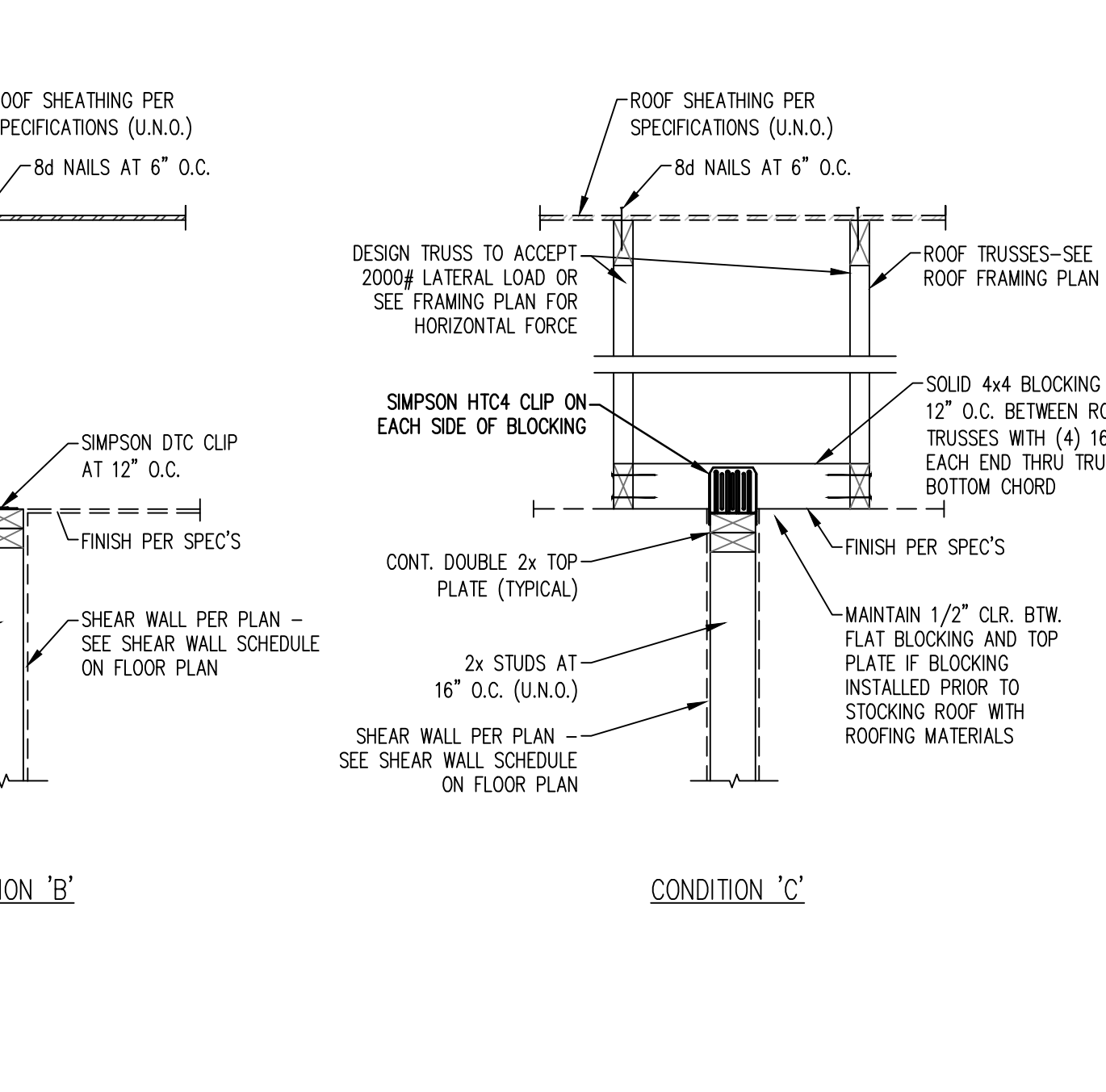
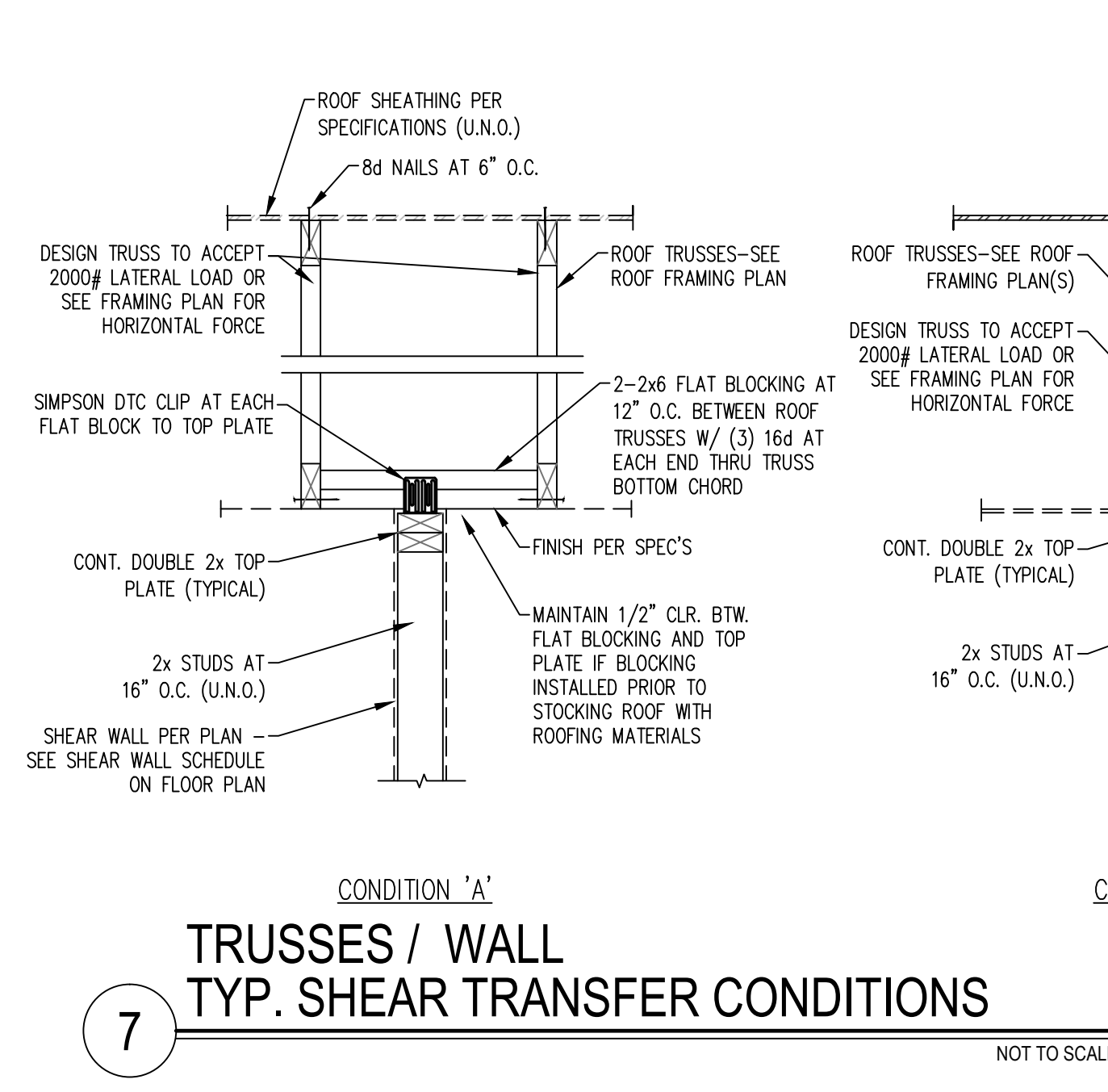
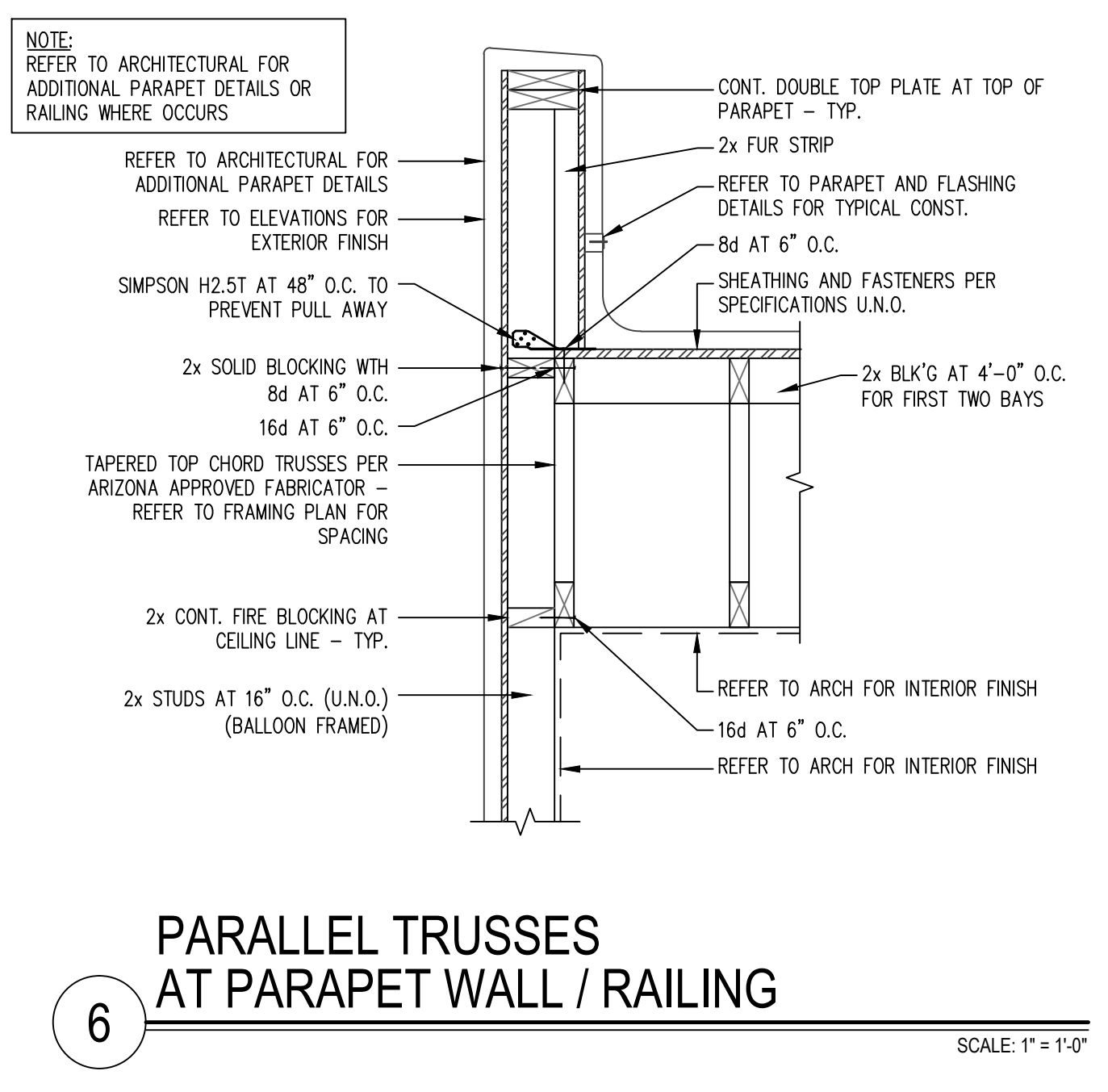
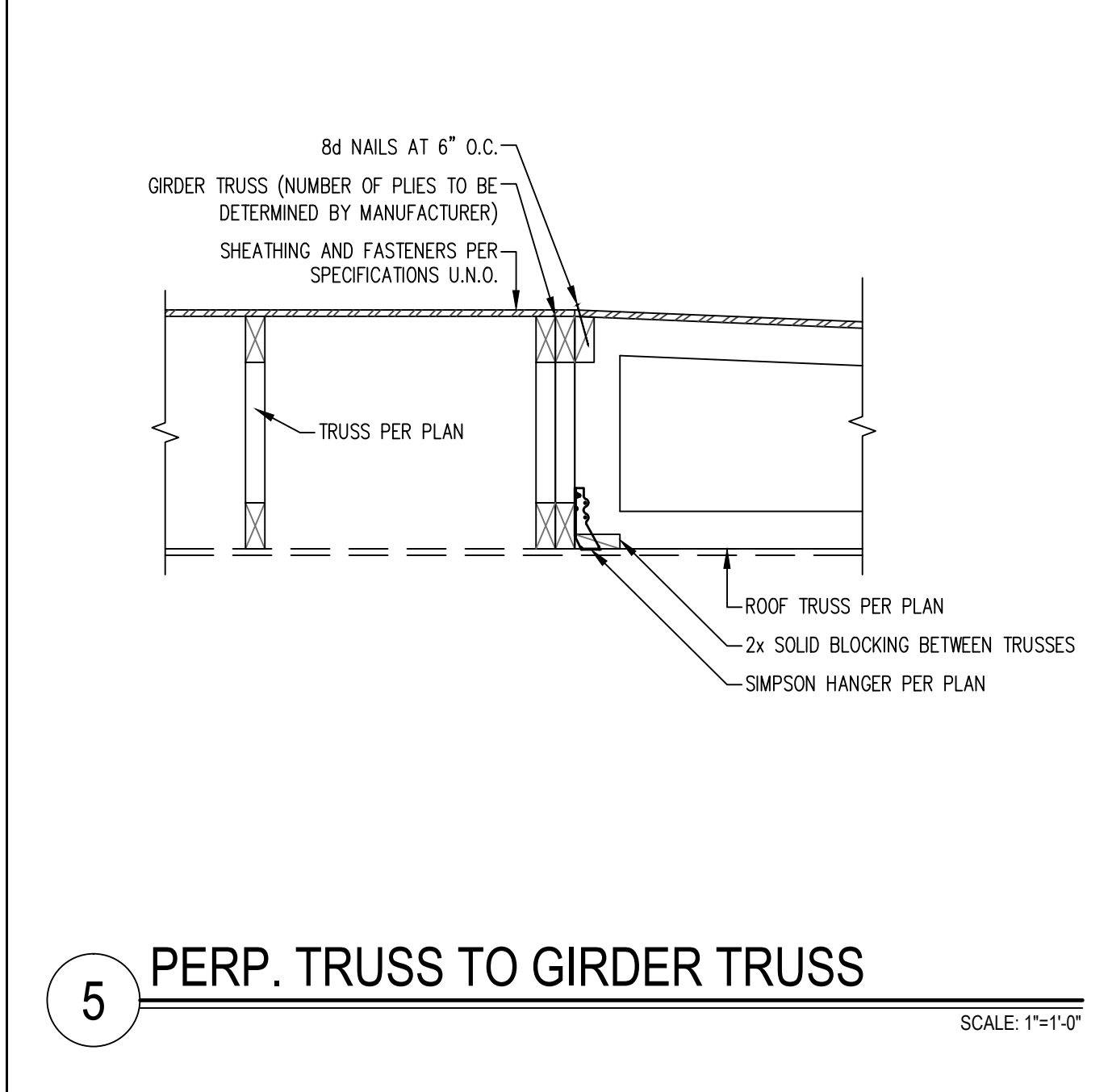
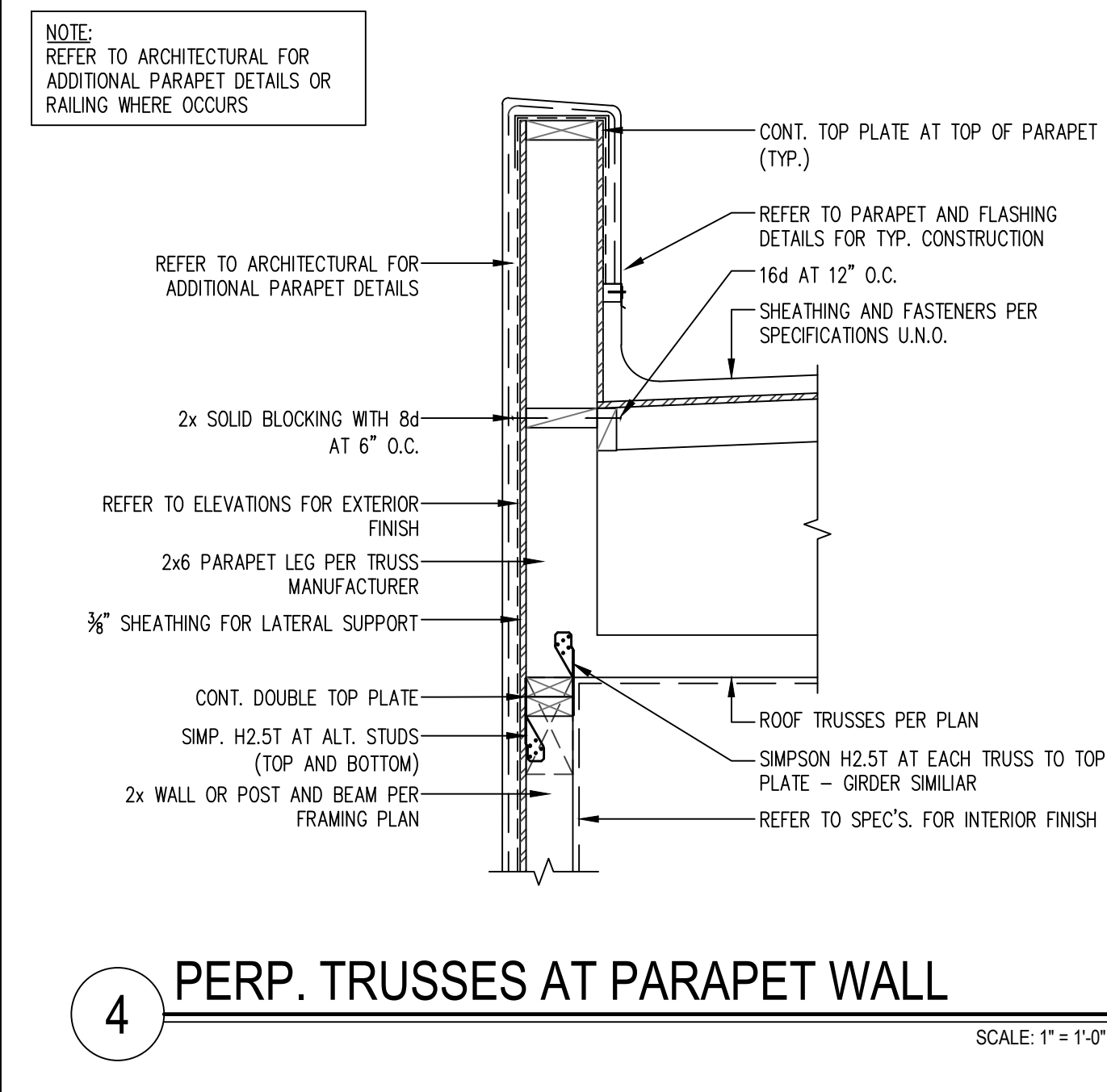
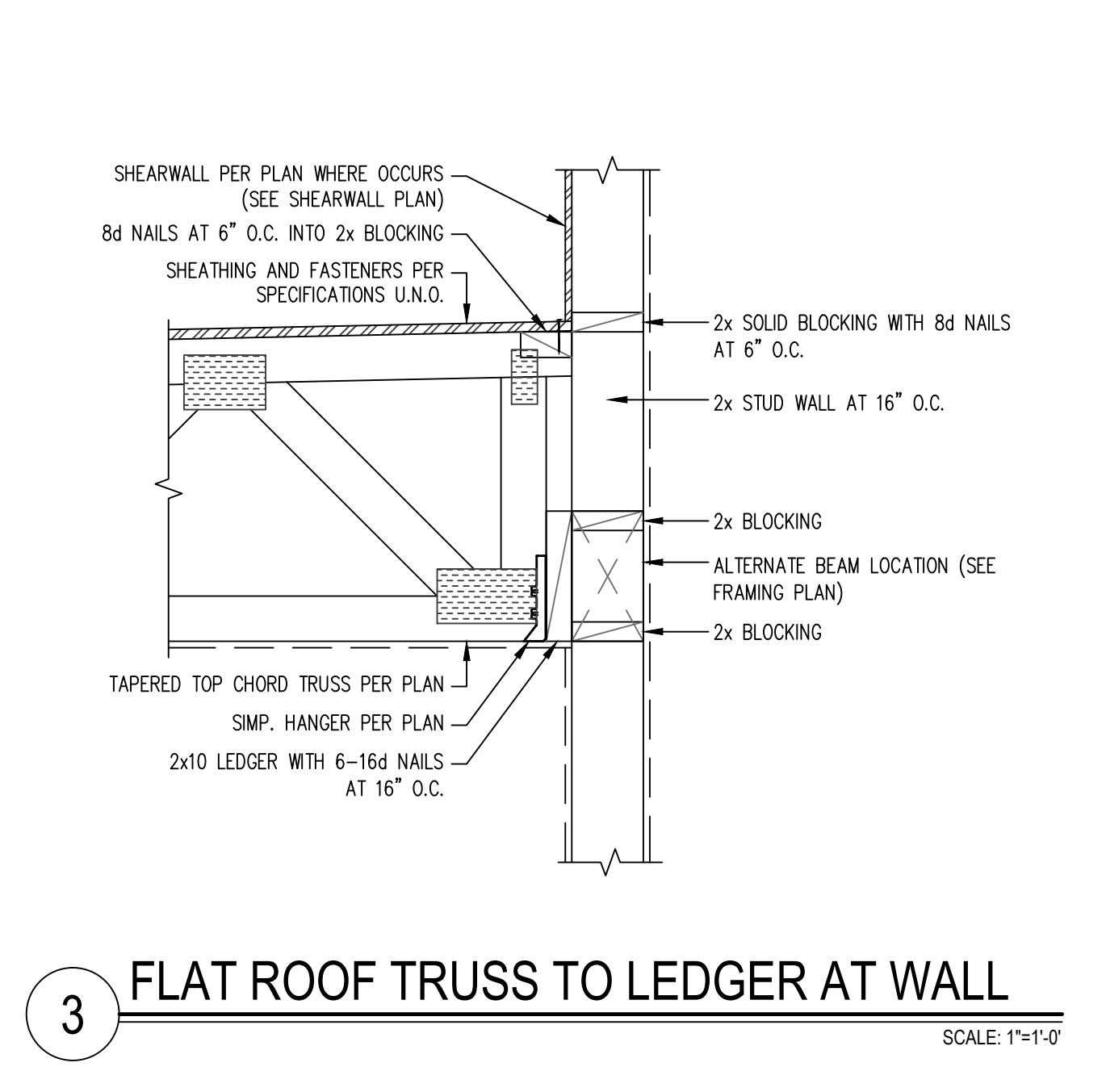
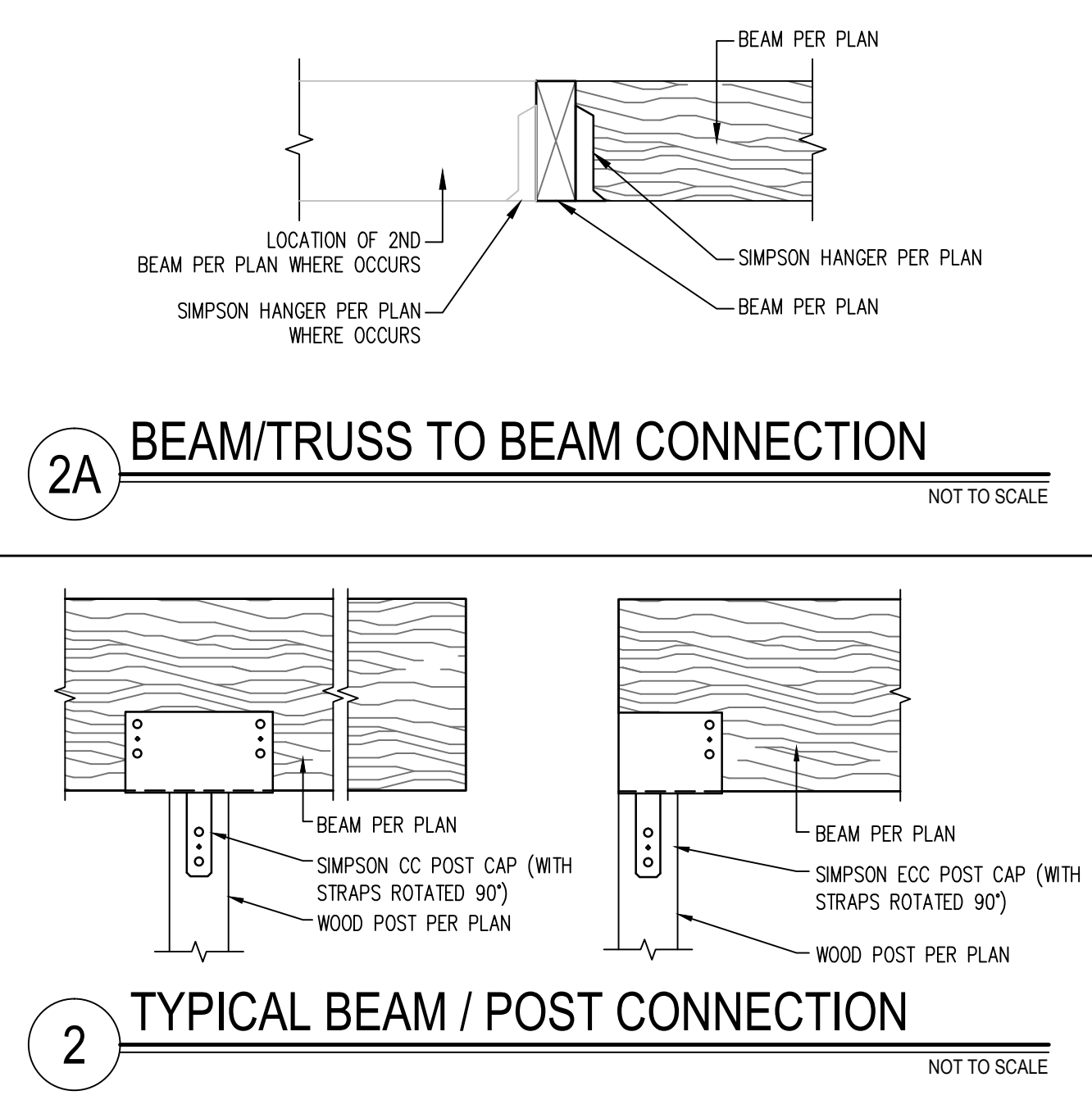
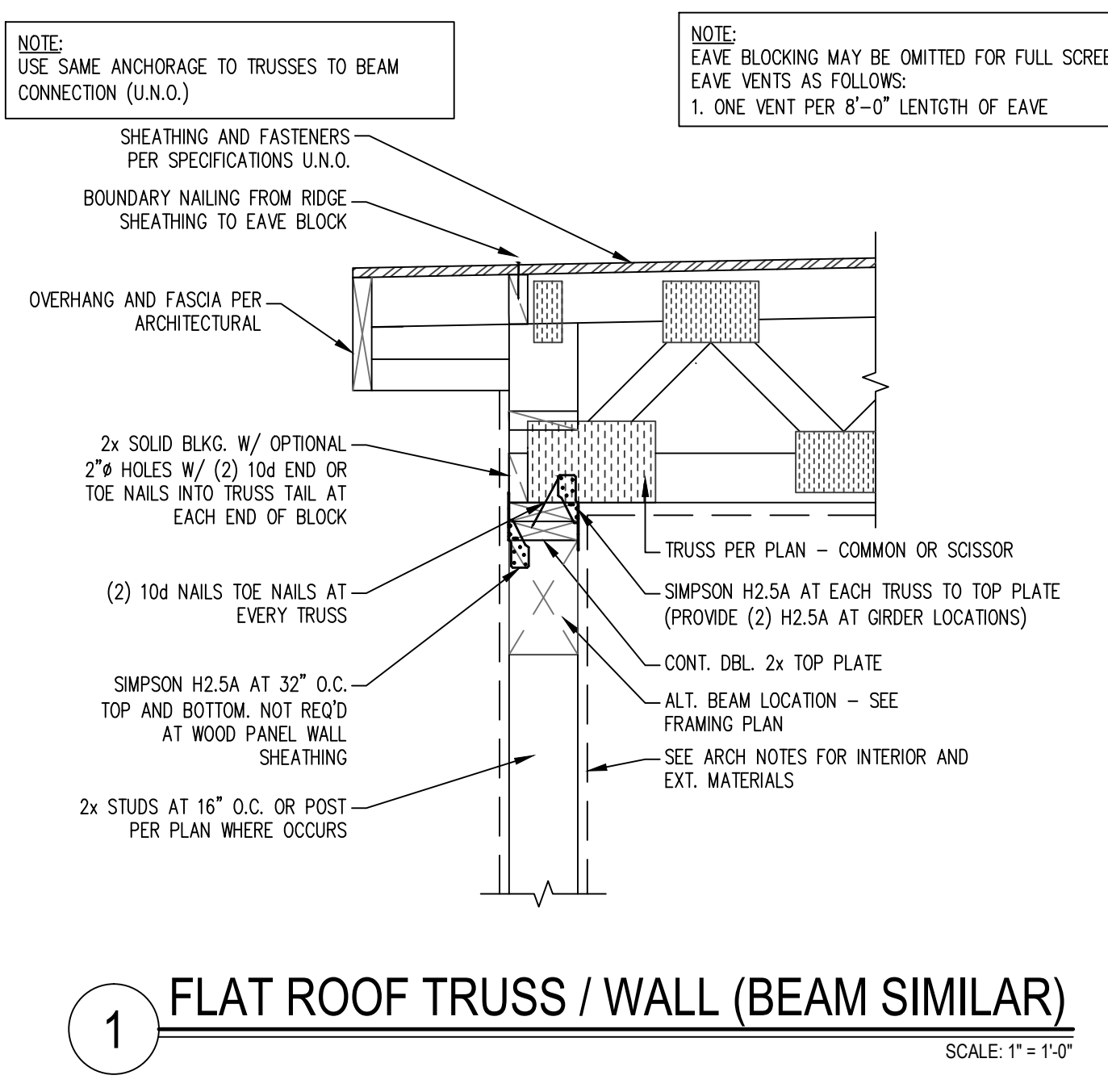
PROJECT NUMBER:  
 DATE: 8.16.2022

SHEET TITLE:  
**STRUCTURAL DETAILS**

SHEET NUMBER:  
**SD1**

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PROFESSIONAL SEAL  
4193  
WILLIAM L. GILBERT  
State Seal: 11-9-2024  
11/14/24, 11:13 AM

REVISIONS  
1 HOA COORDINATION 1.19.2023  
2 RETAINING WALL DETAIL 5.1.2024  
3 OWNER CHANGES 11.19.2024  
4  
5

PROJECT NUMBER:  
DATE: 8.16.2022

SHEET TITLE:  
**STRUCTURAL DETAILS**

SHEET NUMBER:  
**SD2**