PATTERSON HOMES AZ, LLC POVINELLI RESIDENCE

9805 TALON TRAIL FOUNTAIN HILLS, ARIZONA 85268

PROJECT DESCRIPTION:

CONSTRUCT NEW CUSTOM SINGLE FAMILY RESIDENCE.

ENERGY CODE:

NEW AND REMODELED BUILDING AREAS SHALL COMPLY WITH THE FOLLOWING FENESTRATION = 0.40 MAXIMUM U-FACTOR, 0.25 MAXIMUM SHGC. MINIMUM R-13 AT FRAME WALLS AND FLOORS, R-6 AT MASS WALLS OR R-13 IF LOCATED ON INTERIOR SIDE, R-38 AT CEILINGS. DUCT INSULATION LOCATED OUTSIDE THE BUILDING AREA REQUIRES MINIMUM R-8 AND R-6 WHEN LOCATED IN FLOOR JOIST (IF APPLICABLE). MINIMIZE AIR LEAKAGE PER IECC 402.4

ATTENTION .

GILBERT STRUCTURAL, LLC WILL NOT BE HELD RESPONSIBLE FOR LAYOUT OR BUILDING ERRORS DUE TO THE USE OF THESE DRAWINGS. THE OWNERS MUST VERIFY ALL DIMENSIONS AND LAYOUTS PRIOR TO CONSTRUCTION.

DRAINAGE NOTE:

A COMMON CAUSE OF SOIL PROBLEMS IN THIS VICINITY OF A CONCRETE FOUNDATION IS MOISTURE INCREASE IN SOILS BELOW STRUCTURES. THEREFORE, IT IS EXTREMELY IMPORTANT THAT POSITIVE DRAINAGE BE PROVIDED DURING CONSTRUCTION AND MAINTAINED THROUGHOUT THE LIFE OF THE STRUCTURE. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION. IT IS ALSO IMPORTANT THAT PROPER PLANNING AND CONTROL OF ANY LANDSCAPE AND IRRIGATION PRACTICES BE PERFORMED. BACKFILL AGAINST FOOTINGS, EXTERIOR WALLS, AND IN UTILITY AND SPRINKLER LINE TRENCHES SHOULD BE WELL COMPACTED AND FREE OF CONSTRUCTION DEBRIS TO MINIMIZE THE POSSIBILITY OF MOISTURE INFILTRATION.

IN AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN THE STRUCTURE, PROTECTIVE SLOPES SHOULD BE PROVIDED WITH AN OUTFALL OF 5 PERCENT FOR AT LEAST 10 FEET FROM PERIMETER WALLS OR OTHER APPROVED DRAINAGE. SCUPPERS AND DRAIN PIPES SHOULD BE DESIGNED TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURES FOR A MINIMUM OF 5 FEET. IF PLANTERS AND/OR LANDSCAPING ARE ADJACENT TO OR NEAR THE STRUCTURES, WE RECOMMEND THE FOLLOWING:

- GRADES SHOULD SLOPE AWAY FROM THE STRUCTURES.
- PLANTERS SHOULD SLOPE AWAY FROM THE STRUCTURES AND SHOULD NOT POND WATER. DRAINS SHOULD BE INSTALLED IN ENCLOSED PLANTER TO FACILITATE FLOW OUT OF THE PLANTERS.
- ONLY SHALLOW ROOTED LANDSCAPING SHOULD BE USED. • WATERING SHOULD BE KEPT TO A MINIMUM. IRRIGATION SYSTEMS SHOULD BE SITUATED ON THE FAR SIDE OF ANY PLANTING AND AWAY FROM THE STRUCTURES TO REDUCE
- TRESS SHOULD BE PLANTED NO CLOSER THAN A DISTANCE EQUAL TO ONE-HALF THEIR MATURE HEIGHT OR TEN FEET, WHICHEVER IS GREATER.

INFILTRATION BENEATH FOUNDATIONS FROM POSSIBLE

- MAINTAIN EXISTING GRADING AND DRAINAGE ROUTES ON
- FINISH FLOOR ELEVATIONS ARE GRANDFATHERED IN TO MATCH THE EXISTING LEGALLY ESTABLISHED FINISH FLOOR ELEVATION OF THE DWELLING UNIT.
- THE FLOOR IN THIS SPACE IS EXISTING. THE OWNER HAS CHOSEN TO CONVERT THE NON-LIVEABLE SPACE TO LIVABLE SPACE AND AFFIRMS THE FINISH FLOOR ELEVATION IS ADEQUATE.
- THE PERMITTED STRUCTURE SHALL NOT AFFECT THE DRAINAGE TO NEIGHBORING LOTS.

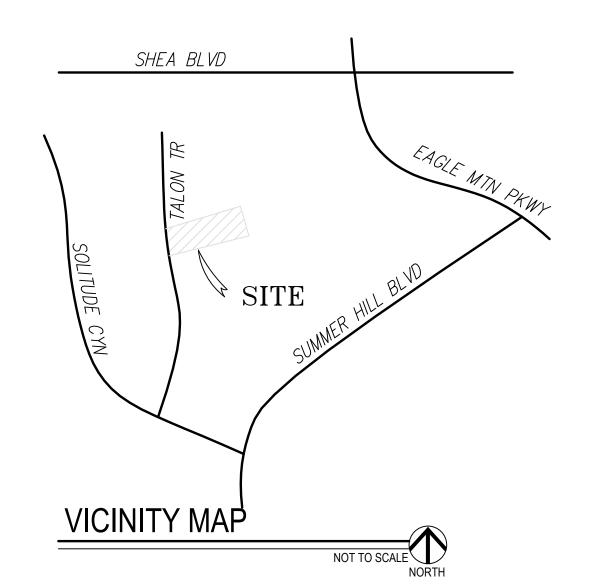
IT SHOULD BE UNDERSTOOD THAT THESE RECOMMENDATIONS WILL HELP MINIMIZE THE POTENTIAL FOR SOIL MOVEMENT AND RESULTING DISTRESS, BUT WILL NOT ELIMINATE THIS POTENTIAL.

FINISHED FLOOR CERTIFICATION:

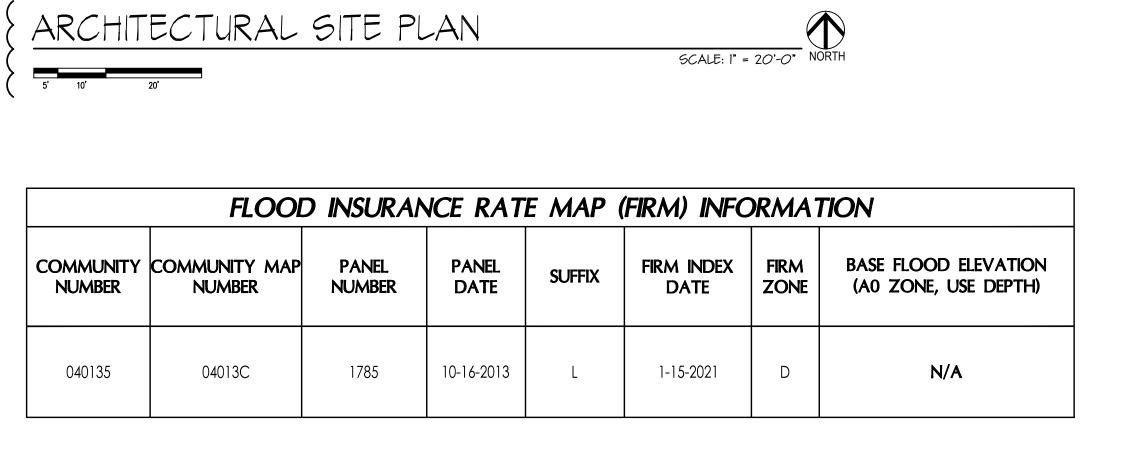
THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

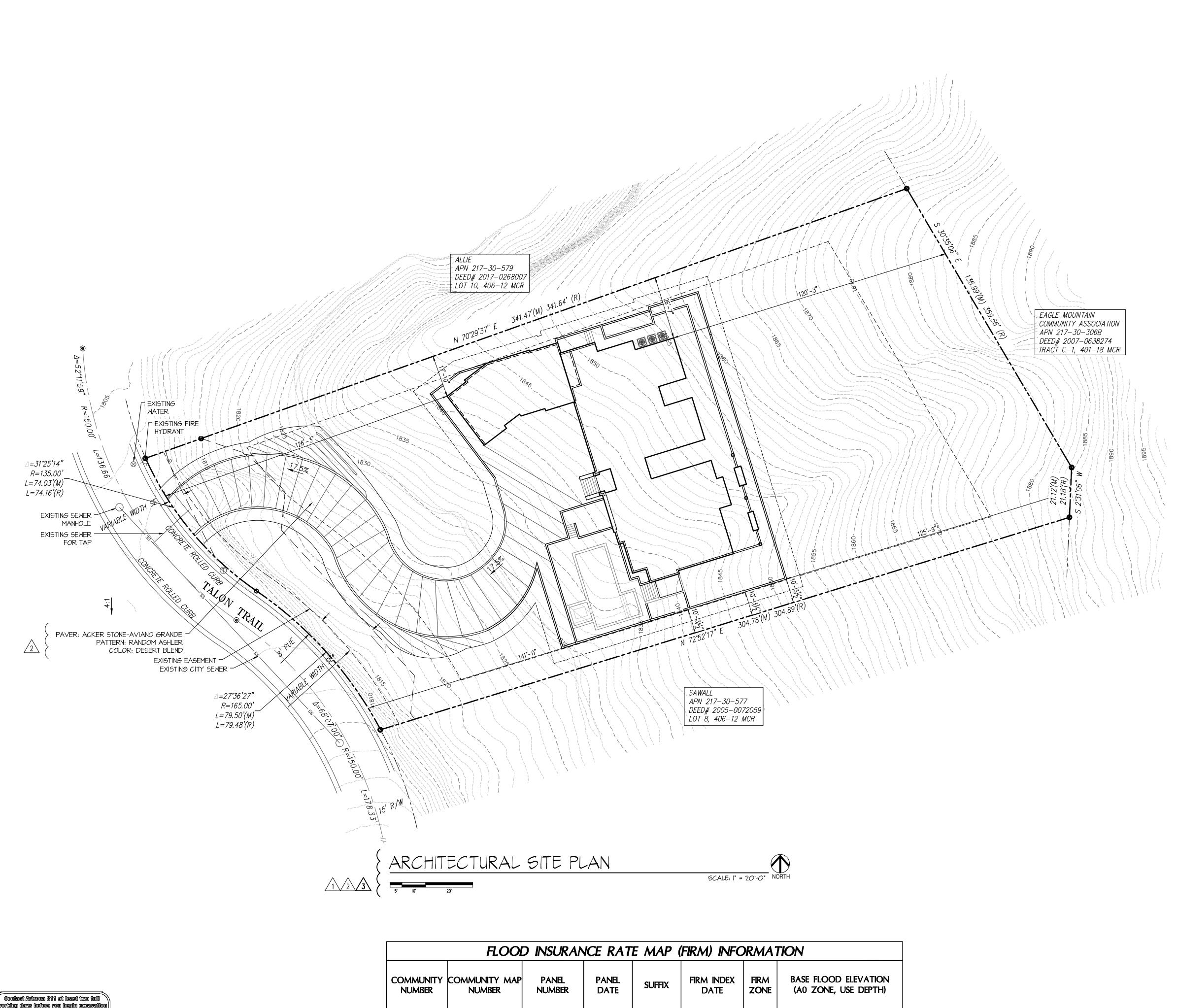
SITE, SURVEY AND G&D NOTES

SURVEY AND GRADING AND DRAINAGE BY OTHERS. REFER TO SEPARATE SURVEY BY ARIZONA SURVEYORS, PROJECT NUMBER 9805 TALON TR, DATED APRIL 12, 2021.



Call 811 or elick Arizona811.com





KEYNOTES SITE INFORMATION LOT 9 AT EAGLE MOUNTAIN PARCEL 5 KEVIN AND SHARON POVINELLI 9539 EAST SANDY VISTA DRIVE PATTERSON HOMES AZ, LLC 16424 N 91ST ST SCOTTSDALE, AZ 85260 DESIGNER: GILBERT STRUCTURAL, LLC WILLIAM GILBERT 2003 EAST 5TH STREET #9 TEMPE, AZ 85281 602-821-2335 BILL@GILBERT STRUCTURAL.COM PARCEL NUMBER: 217-30-578 LOT AREA: <u>as</u>_ <u> 5/T/R</u> 29 3N 6E <u>ZONE</u> MCR LEGAL DESCRIPTION: LOT 9, EAGLE MOUNTAIN PARCEL 5, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 406 OF MAPS, NEW BUILDING AREAS: = 4,180 = 1,220 = 455 = 92 MAIN HOUSE SQ. FT. NEW GARAGE NEW COVERED PATIO I NEW COVERED PATIO 2 NEW COVERED PORCH TOTAL NEW SHEET INDEX SHEET - SHEET NAME

A0.0 - COVER SHEET / ARCH SITE PLAN

A1.0 - FLOOR PLAN A2.0 - DIMENSIONED FLOOR PLAN A3.0 - ROOF PLAN A4.0 - BUILDING ELEVATIONS A4.1 - BUILDING ELEVATIONS A5.0 - BUILDING SECTIONS M1.1 - MECHANICAL PLAN M2.1 - MECHANICAL NOTES & CALCS P1.0 - PLUMBING WASTE ISOMETRIC E1.0 - ELECTRICAL DETAILS E1.1 - ELECTRICAL LAYOUT PLAN GSN - GENERAL STRUCTURAL NOTES S1.0 - STRUCTURAL FOUNDATION PLAN S2.0 - STRUCTURAL FRAMING PLAN S3.0 - STRUCTURAL SHEARWALL PLAN SD1 - STRUCTURAL DETAILS SD2 - STRUCTURAL DETAILS BOUNDARY AND TOPOGRAPHIC SURVEY GRADING AND DRAINAGE PLAN 1 OF 5 GRADING AND DRAINAGE PLAN 2 OF 5 GRADING AND DRAINAGE PLAN 3 OF 5 GRADING AND DRAINAGE PLAN 4 OF 5 GRADING AND DRAINAGE PLAN 5 OF 5 NP1.1 - NATIVE PLANT SURVEY L1.1 - LANDSCAPE PLAN

FIRE SPRINKLERS

FIRE SPRINKLERS ARE REQUIRED

ON TRAILS, ARIZONA

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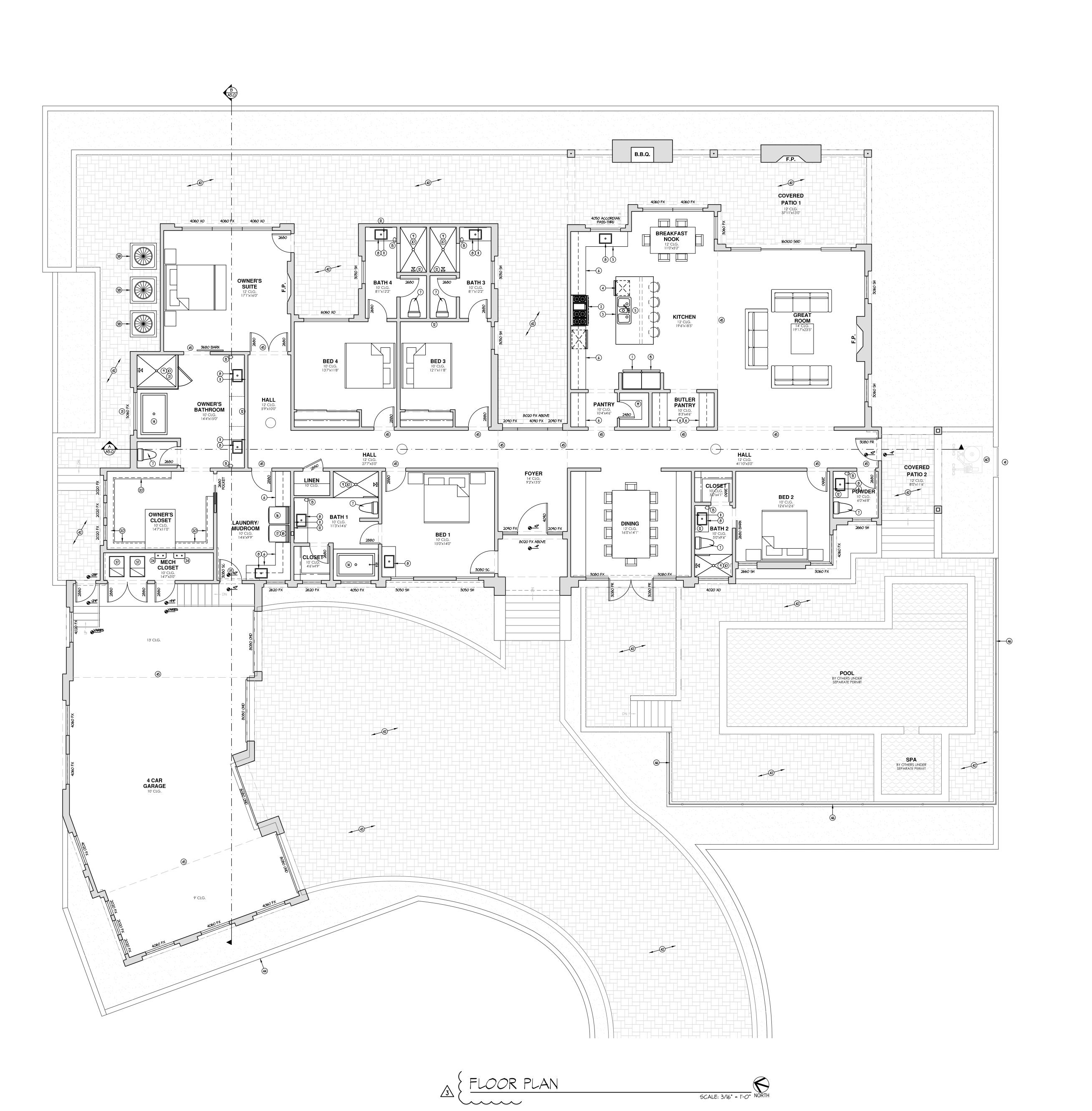
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1 CITY COMMENTS hoa coordination 1.19.2023 /3\ OWNER CHANGES

8.16.2022

COVER SHEET AND

SITE PLAN



GENERAL INFORMATION

ALL EXTERIOR DOORS AND WINDOWS TO BE STANDARD HEIGHT W/ STANDARD FRAMED OPENINGS U.N.O. ON PLAN 2. WALL FRAMING - U.N.O. ON PLAN:
EXTERIOR WALLS - 2x6 AT 16" O.C. U.N.O. ON PLAN
INTERIOR BRG. WALLS - 2x4 AT 16" O.C. U.N.O. ON PLAN INTERIOR NON-BRG. - 2×4 AT 24" O.C. U.N.O. ON PLAN ALL SHEARWALLS ARE TO BE CONSTRUCTED WITH 2× STUDS SPACED AT 16" O.C.

DEVIATION WHEN SHEAR WALL FOR DIMENSION

R-38 BLOWN-IN AT ATTIC - U.N.O. ON PLAN R-13 BATTS AT EXT. 2×4 WALLS - U.N.O. ON PLAN R-19 BATTS AT EXT. 2×6 WALLS - U.N.O. ON PLAN

PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) INSULATION BETWEEN GARAGE AND ALL LIVABLE

FOR GAS APPLIANCES AND FIXTURES PROVIDE COMBUSTION AIR AND VENTILATION AIR PER I.R.C. SECTION G2407 AND MANUFACTURERS RECOMMENDED

. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON WALLS AND CEILING IN GARAGE AND ON USABLE SPACE UNDER STAIRS PER CITY REQUIREMENTS.

. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO AND PORCH CEILINGS - TAPE AND TEXTURE PER PROJECT SPEC'S.

9. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM EGREGG WINDOWS - I.R.C. SECTON R3IO.I O. WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM

3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #1338

I. PENETRATIONS THRU SEPARATION WALL(S) SHALL BE PROTECTED BY FILLING OPENING AROUND PENETRATING ITEM WITH APPROVED FIRECAULK - I.R.C. SECTION R302.4

. WALL BRACING TO COMPLY WITH I.R.C. SECTION R602.10.1 AND TABLE R602.10.3 UNLESS BRACED WALL SYSTEM

. DOUBLE ALL BEARING WALLS STUDS PENETRATED BY PLUMBING WASTE AND/OR VENT LINES - TYPICAL.

KEYNOTES

REFRIGERATOR RIGHT - PRE-PLUMB FOR WATER TAP

2 RANGE AND OVEN WITH HOOD ABOVE -HOOD EXHAUST AT +77"

(3) DOUBLE SINK WITH DISPOSAL DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. SEC. P2717

5 ISLAND COUNTERTOP WITH 36" DEEP BASE CABINETS WITH 12" OVERHANG

(6) BASE AND UPPER CABINETS

(9) SHOWER FLOOR DRAIN

WATER CLOSET PROVIDE A (MIN) 15" ON EACH SIDE AND 24" (MIN) CLEAR IN FRONT - I.R.C. SEC. R307

CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER WITH TILE, MARBLE OR EQ. TO +72" ABOVE CURB OR DAM OF SHOWER - I.R.C. SEC. R702.4.2

42" HIGH MIRROR IN MASTER BATHROOM AND ALL SECONDARY BATHROOMS - U.N.O. ON PLAN

(12) 2x6 PLUMBING WALL (B) TOWEL BAR AT +54" OR TOWEL RING AT +54"

(14) FREE STANDING TUB PER OWNER

(15) FREEZER LEFT - PRE PLUMB FOR ICE MAKER

4½" DRYER VENT THROUGH ROOF - NOT TO EXCEED 25'-O" PER I.R.C. SEC. G2439.5, G2439.5.1 AND G2439.5.4 PROVIDE LABELING WITHIN 6' STATING SIZE AND DEV.

(16) WASHER - WASHER ALWAYS LEFT OF DRYER

9 5 - SHELVES EQUALLY SPACED - 16" DEEP UNLESS OTHERWISE SHOWN / NOTED ON PLAN

(20) | 1 ROD, 1 SHELF

TEMPERED GLASS ELECTRIC FIREPLACE PER OWNER

TILE FINISH AROUND FIREPLACE PER OWNER

ELECTRIC TANKLESS WATER HEATER PER OWNER WITH T & P RELIEF VALVE AT +6" ABOVE FINISH GRADE

MINIMUM OF 1 3/8" SOUID CORE WITH SELF CLOSER, SELF LATCHING, AND TIGHT FITTING GASKETS AND SWEEP PER I.R.C. SEC. R302.5.1

(26) 4" TIRE STOP

5/8" TYPE 'X' GYPSUM BOARD OVER WALLS AND CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 702.3.5

(2) 14"x8" SCREENED LOUVERED METAL AIR VENTS -ONE +12" A.F.F. AND ONE 12" BELOW CEILING 22x3O ATTIC SCUTTLE - PROVIDE TYPE 'X' GYP. BD. AT GARAGE SIDE AND WEATHERSTRIPPING - I.R.C. SEC. R807.I

(30) MIN. 5" THICK CONC. STOOP OR PAVERS AT OPENING

MISCELLANEOUS APPLIANCES PER OWNER

LINE OF CEILING CHANGE (33) +42* BAR TOP

(34) SOLAR TUBE FOR NATURAL LIGHTING

35) P.R.V. TO OUTSIDE MIN. 6" ABOVE GRADE 36) HOSE BIB

(37) AIR HANDLER - SEE ELECTRICAL SHEET EI.O (38) AIR CONDENSOR - SEE ELECTRICAL SHEET EI.O

(39) ELECTRIC SERVICE PANEL - SEE ELECTRICAL

(40) POOL EQUIPMENT BY OTHERS (41) POOL EQUIPMENT ACCESS GATE

PAVER: ACKER STONE-AVIANO GRANDE
PATTERN: RANDOM AGHLER
COLOR: DESERT BLEND

(43) GUEST PARKING AREA

MASONRY SCREEN WALL. FINISH PER SPECIFICATIONS. 45 LINE OF CEILING CHANGE 46 METAL POOL FENCING BY OTHERS - PAINTED BLACK PROFESSIONAL SEAL

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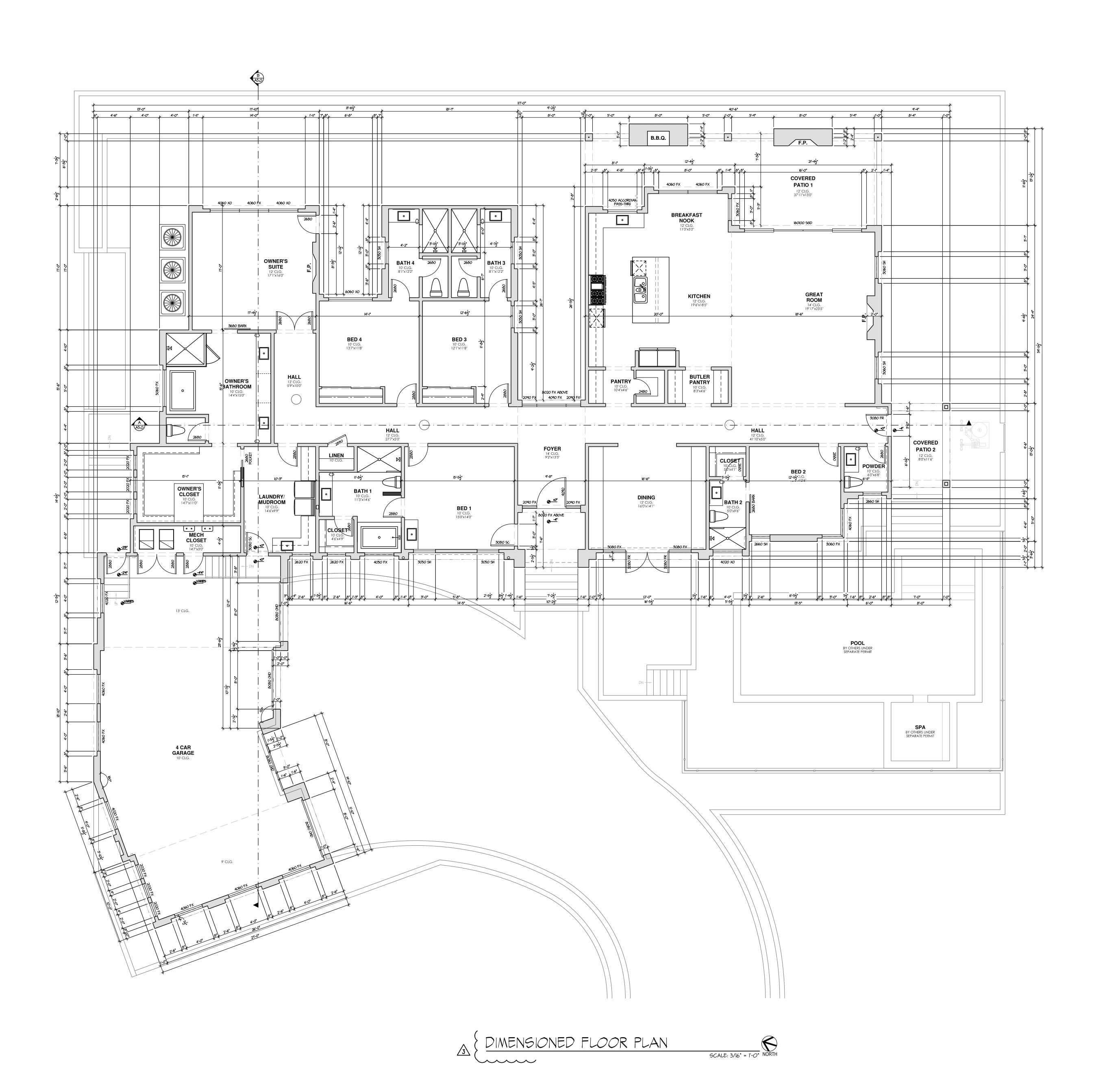
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35 TALON TRAIL I HILLS, ARIZONA

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1\ CITY COMMENTS 10.6.2022 1.19.2023 2 HOA COORDINATION 11.XX.2024 OWNER CHANGES

8.16.2022



GENERAL PLAN NOTES

ALL EXTERIOR DOORS AND WINDOWS TO BE STANDARD HEIGHT W/ STANDARD FRAMED OPENINGS U.N.O. ON PLAN 2. WALL FRAMING - U.N.O. ON PLAN:
EXTERIOR WALLS - 2×4 @ 16" O.C. U.N.O. ON PLAN
INTERIOR BRG. WALLS - 2×4 @ 16" O.C. U.N.O. ON PLAN
INTERIOR NON-BRG. - 2×4 @ 24" O.C. U.N.O. ON PLAN
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STUDS SPACED AT 16" O.C.

DEVIATION WHEN SHEAR WALL FOR DIMENSION

4. INSULATION: R-38 BLOWN-IN AT ATTIC - U.N.O. ON PLAN R-13 BATTS AT EXT. 2×4 WALLS - U.N.O. ON PLAN R-19 BATTS AT EXT. 2×6 WALLS - U.N.O. ON PLAN

5. PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL)
INSULATION BETWEEN GARAGE AND ALL LIVABLE

DE FOR GAS APPLIANCES AND FIXTURES PROVIDE COMBUSTION AIR AND VENTILATION AIR PER I.R.C. SECTION G2407 AND MANUFACTURERS RECOMMENDED

7. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON WALLS AND CEILING IN GARAGE AND ON USABLE SPACE UNDER STAIRS PER CITY REQUIREMENTS.

. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO AND PORCH CEILINGS - TAPE AND TEXTURE PER PROJECT SPEC'S. 7. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM EGRESS WINDOWS - I.R.C. SECTON R310.1

10. WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR *1338

I. PENETRATIONS THRU SEPARATION WALL(S) SHALL BE PROTECTED BY FILLING OPENING AROUND PENETRATING ITEM WITH APPROVED FIRECAULK - I.R.C. SECTION R302.4

2. WALL BRACING TO COMPLY WITH I.R.C. SECTION R602.10.1 AND TABLE R602.10.3 UNLESS BRACED WALL SYSTEM SHOWN.

3. DOUBLE ALL BEARING WALLS STUDS PENETRATED BY PLUMBING WASTE AND/OR VENT LINES - TYPICAL.

14. A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15" INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOSER THAN 30" INCHES CENTER TO CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE A CLEARANCE OF NOT LESS THAN 21" INCHES IN FRONT OF THE WATER CLOSET, LAVATORY, OR BIDET TO ANY WALL, FIXTURE OR DOOR. PER P2705 WATER CLOSETS, LAVATORIES AND

= SEE DOOR SCHEDULE ON SHEET ALO FOR COINCIDING DOOR INFORMATION

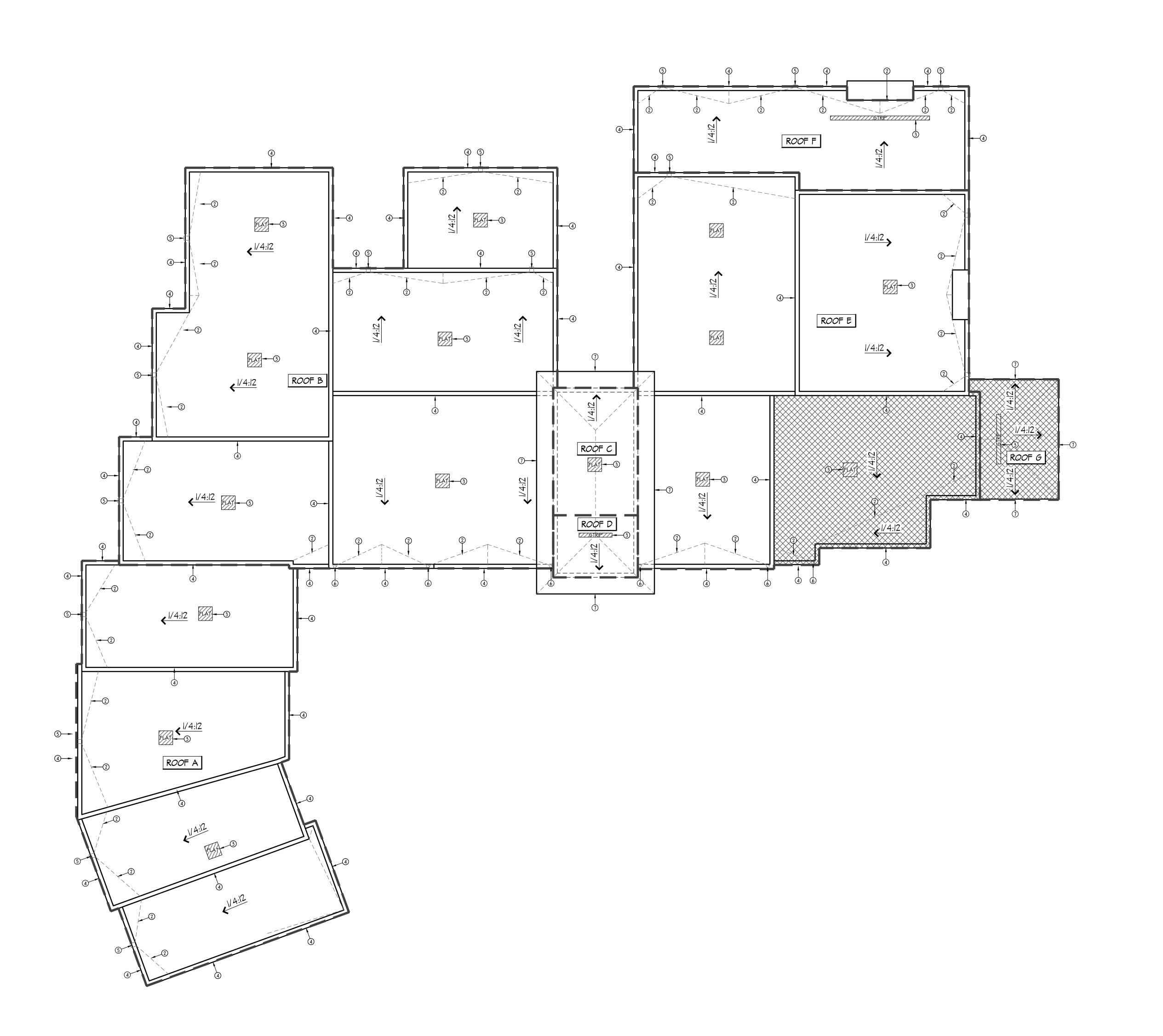
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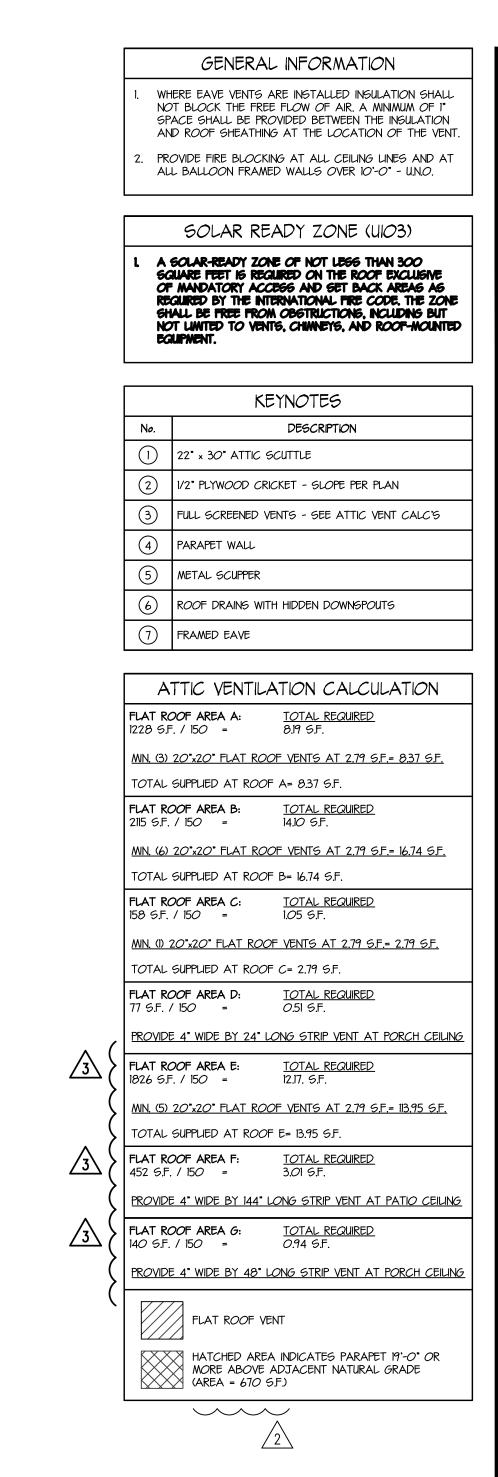
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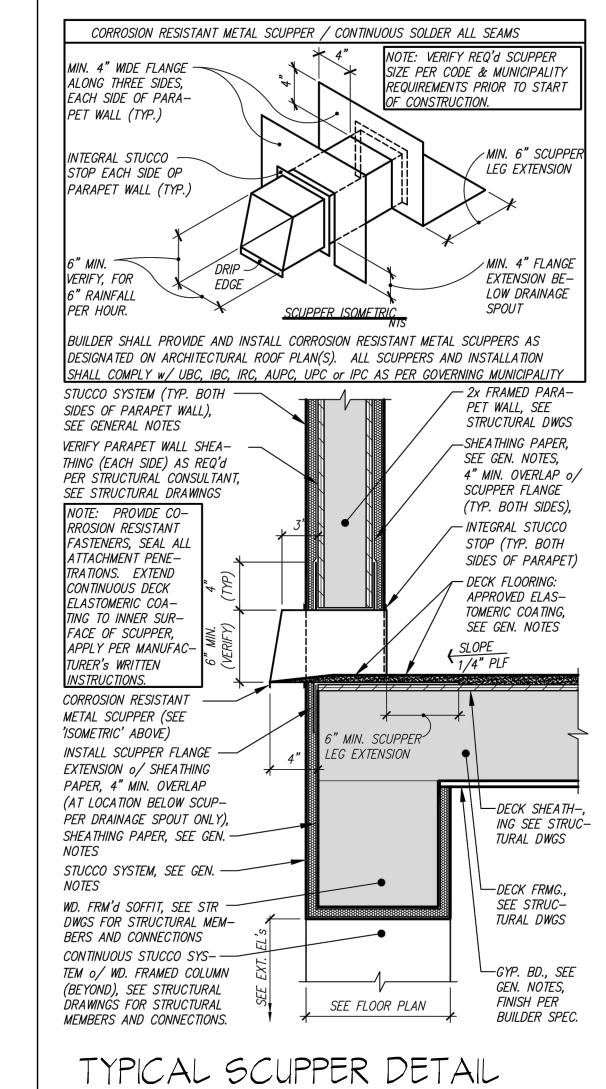
DIMENSIONED FLOOR PLAN



ROOF PLAN

SCALE: 3/16" = 1'-0" NORTH





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REVISIONS

1 CITY COMMENTS
10.6.2022

11.XX.2024

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PROJECT NUMBER:
DATE:

ROOF PLAN
SHEET TITLE:

ROOF PLAN
SHEET NUMBER:



GENERAL INFORMATION

1. WESTERN ONE-KOTE STILCCO WALL FINISH (I.C.C. ESR *2729) OVER RESISTIVE BARRIER OF TYPE IS ASPHALT-SATURATED RAG FELT.

2. FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN *26 GA. CORROSION RESISTANT METAL AND FER IRC. SEC. R703.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANDDIZED TO MATCH EXTERIOR COLOR.

3. WEEP SCREED SHALL BE OF *26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3. 1/2" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM OF A/F.G. AT ALL EXTERIOR WALLS.

4. ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.

5. ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANELS), ETC. TO BE PAINTED TO MATCH HOUSE.

6. GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.

7. ALL FOAM POPOUT PROJECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH UND.

8. STUCCO NOTES:

A DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.

B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH

SITE FOR OWNER. KEYNOTES DESCRIPTION 1" FOAM ROOF WITH ELASTOMETIC TOP COAT AND # 2 SAN-KOTE STUCCO SYSTEM (E.S.R. *2927) OVER FOAM BOARD (ON AIS BOARD AT ATTIC AREAS). WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR -PAINT CONCRETE STEM BELOW TO MATCH BUILDING (4) GARAGE DOOR ENTRY DOOR (6) PARAPET WALL SLIDING DOOR SYSTEM WITH TEMPERED GLASS WINDOW WITH TEMPERED GLASS (9) EXTERIOR LIGHTING PER HOA GUIDELINES (10) GARAGE SIDE / MAN DOOR DRIVEWAY PAVERS: ACKER STONE-AVIANO GRANDE PATTERN: RANDOM AGHLER
COLOR: DEGERT BLEND CONCRETE OR PAVER STOOP PER OWNER STUCCO POPOUT SAN-KOTE STUCCO SYSTEM (E.S.R. #2927) FASCIA -SAN-KOIE SIUCCO SISIEM (L.S.A. +2/2/) 1/3001.

PAINTED WITH SHERWIN WILLIAMS URBANE BRONZE (SW7048) CUSTOM 24 GA METAL CHIMNEY CAP INSTALLED PER MANUFACTURERS INSTRUCTIONS. PAINTED WITH SHERWIN WILLIAMS URBANE BRONZE (SW7048). (16) CONCRETE STAIRS (17) TOP OF RETAINING WALL - SEE STRUCTURAL PLAN (18) CONCRETE SLAB - SEE STRUCTURAL PLAN 6" SQ. METAL SCUPPER - SEE A3.0 FOR TYP. DETAIL (20) CONDENSING UNIT - SEE MECHANICAL PLAN

ELECTRIC SERVICE PANEL SEE ELECTRICAL PLAN

WINDOW STUCCO STOPS.

THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO

MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB

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9805 TALON TRAIL AIN HILLS, ARIZONA

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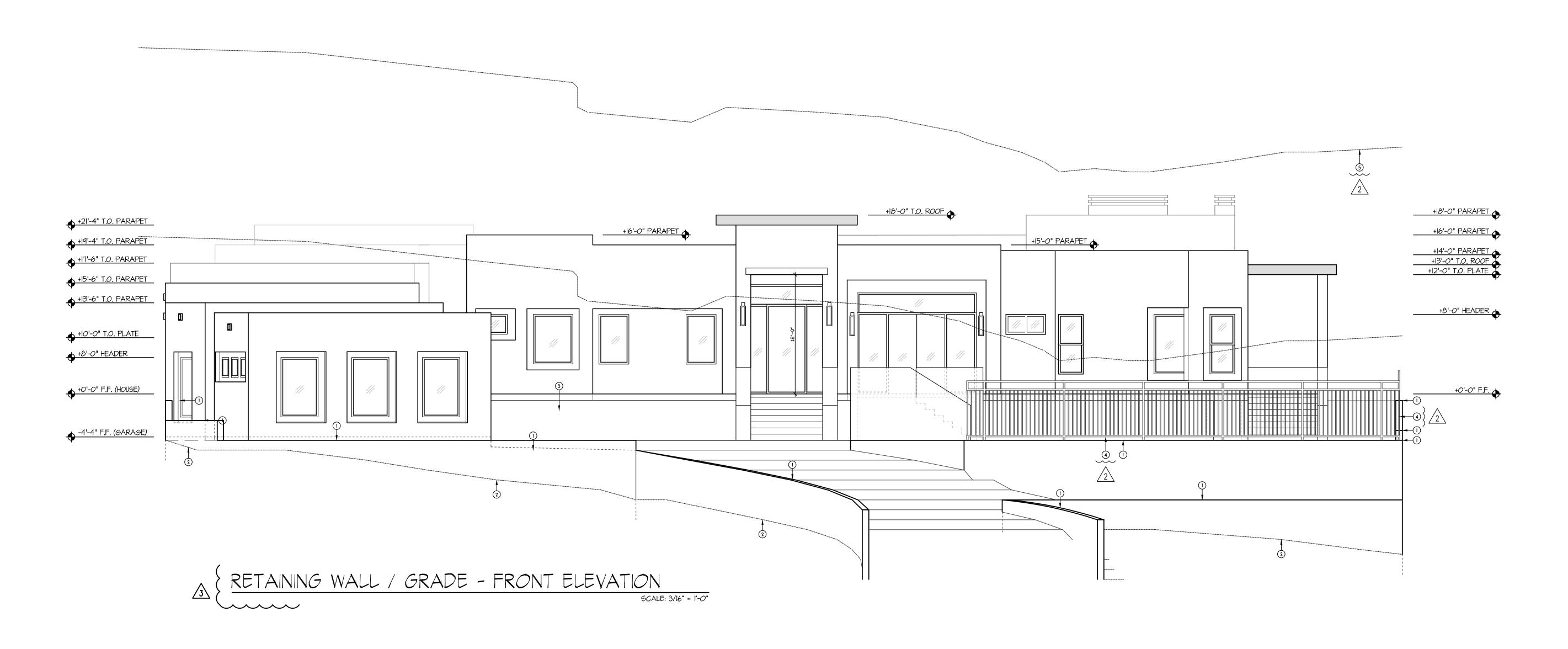
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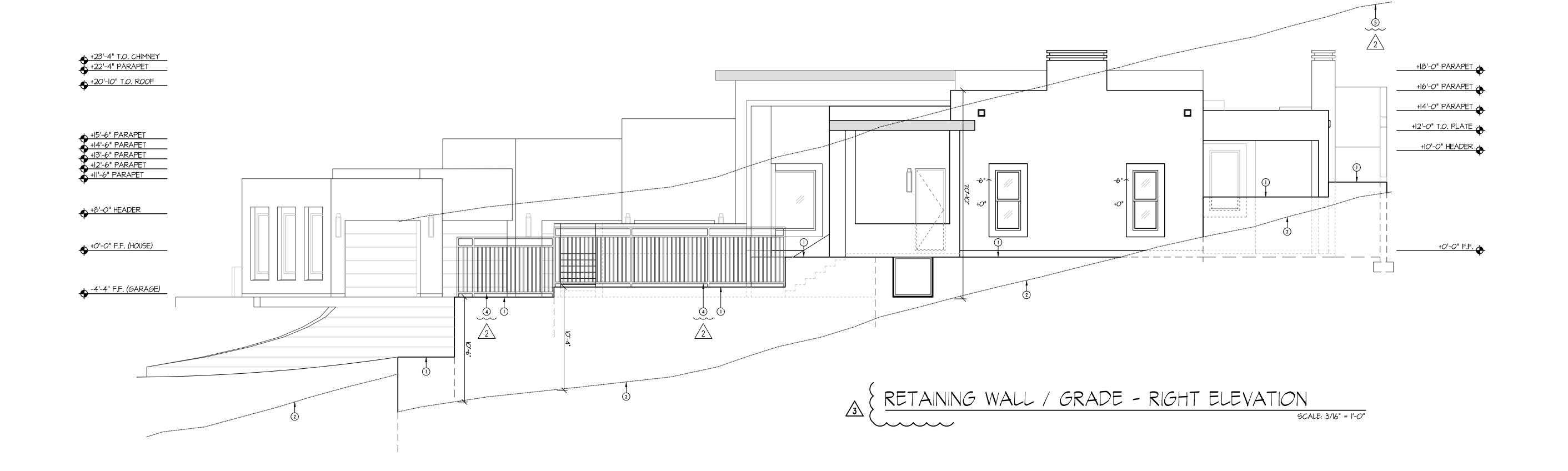
PROJECT NUMBER:

DATE:

BUILDING ELEVATIONS

A4.0





GENERAL INFORMATION

WESTERN ONE-KOTE STUCCO WALL FINISH (I.C.C. ESR +2729) OVER RESISTIVE BARRIER OF TYPE IS ASPHALT-

SATURATED RAG FELT. 2. FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN *26 GA. CORROSION RESISTANT METAL AND PER I.R.C. SEC. R703.8. ALL EXPOSED FLASHING SHALL BE

PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR. 3. WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 6" A.F.G. AT ALL EXTERIOR WALLS.

4. ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.

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WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR

5. ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.

7. ALL FOAM POPOUT PROJECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH U.N.O.

8. STUCCO NOTES: A. DO NOT BLOCK WEEP HOLES AROUND WINDOW

B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS. THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE

JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER. KEYNOTES

DESCRIPTION

TOP OF RETAINING WALL - SEE STRUCTURAL STUCCO AND PAINT FINISHES TO MATCH RESIDENCE. (2) LINE OF NATURAL GRADE

3'-0" HIGH 8"x8"x16" CMU SCREEN WALL AT MOTOR COURT - SEE STRUCTURAL PLAN. STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.

(4) POOL FENCING BY OTHERS PER SEPARATE PERMIT

(5) 19'-O" HEIGHT OFFSET

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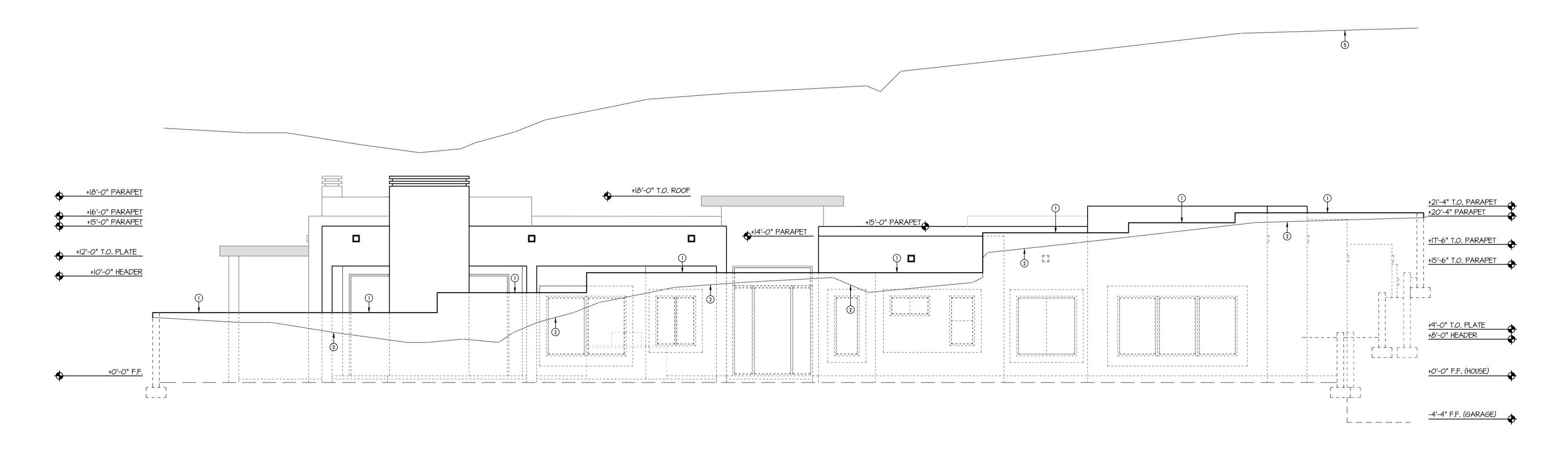
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PROFESSIONAL SEAL

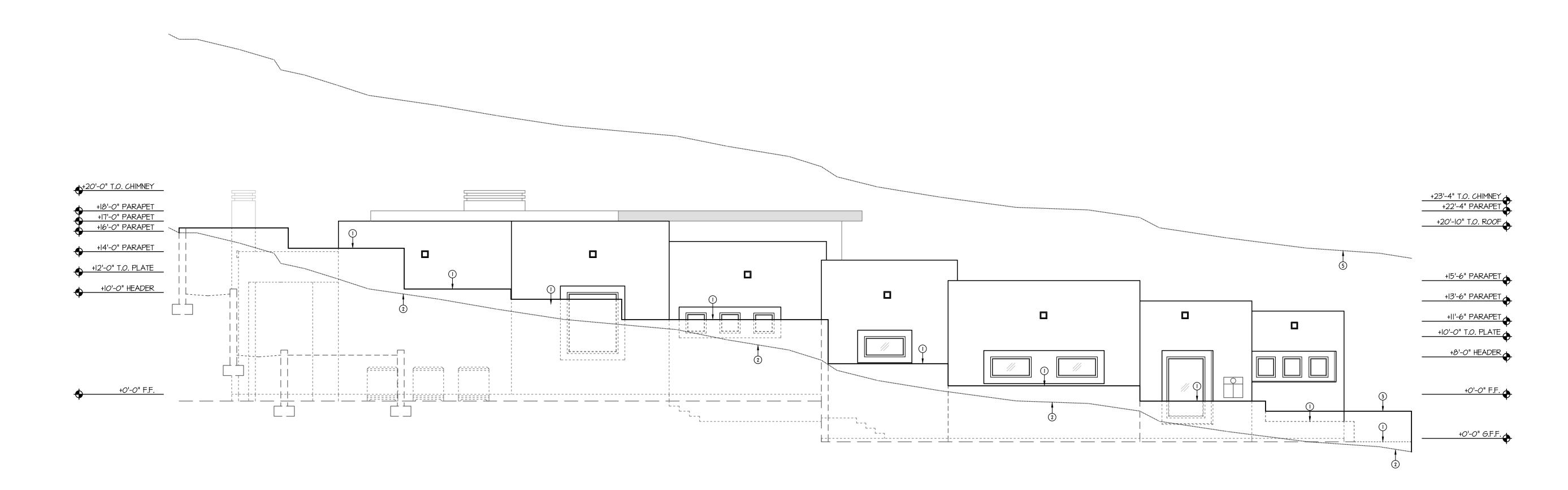
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8.16.2022

RETAINING WALL / GRADE ELEVATIONS



RETAINING WALL / GRADE - REAR ELEVATION SCALE: 3/16" = 1'-0"



RETAINING WALL / GRADE - LEFT ELEVATION

SCALE: 3/16" = 1'-0"

GENERAL INFORMATION

I. WESTERN ONE-KOTE STUCCO WALL FINISH (I.C.C. ESR #2729) OVER RESISTIVE BARRIER OF TYPE IS ASPHALT-SATURATED RAG FELT.

SATURATED RAG FELT.

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PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.

3. WEEP SCREED SHALL BE OF *26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 6" A.F.G. AT ALL EXTERIOR WALLS.

- 4. ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
- 5. ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
- 6. GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP.
 WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR
- 7. ALL FOAM POPOUT PROJECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH U.N.O.
- 8. STUCCO NOTES:
 A. DO NOT BLOCK WEEP HOLES AROUND WINDOW
- A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.

 B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS.
- THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER.

KEYNOTES DESCRIPTION

- TOP OF RETAINING WALL SEE STRUCTURAL STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.
- 2) LINE OF NATURAL GRADE
- 2 LINE OF NATURAL GRADE
- 3'-0" HIGH 8"x8"x16" CMU SCREEN WALL AT MOTOR COURT SEE STRUCTURAL PLAN. STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.
- 4 POOL FENCING BY OTHERS PER SEPARATE PERMIT

 (5) 19'-0" HEIGHT OFFSET

WINELLI RESIDENCI CUSTOM HOME 9805 TALON TRAIL FOUNTAIN HILLS, ARIZONA 85268

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PROFESSIONAL SEAL

REVISIONS

10.6.2022

10.6.2022

10.6.2022

10.6.2022

10.6.2022

10.6.2022

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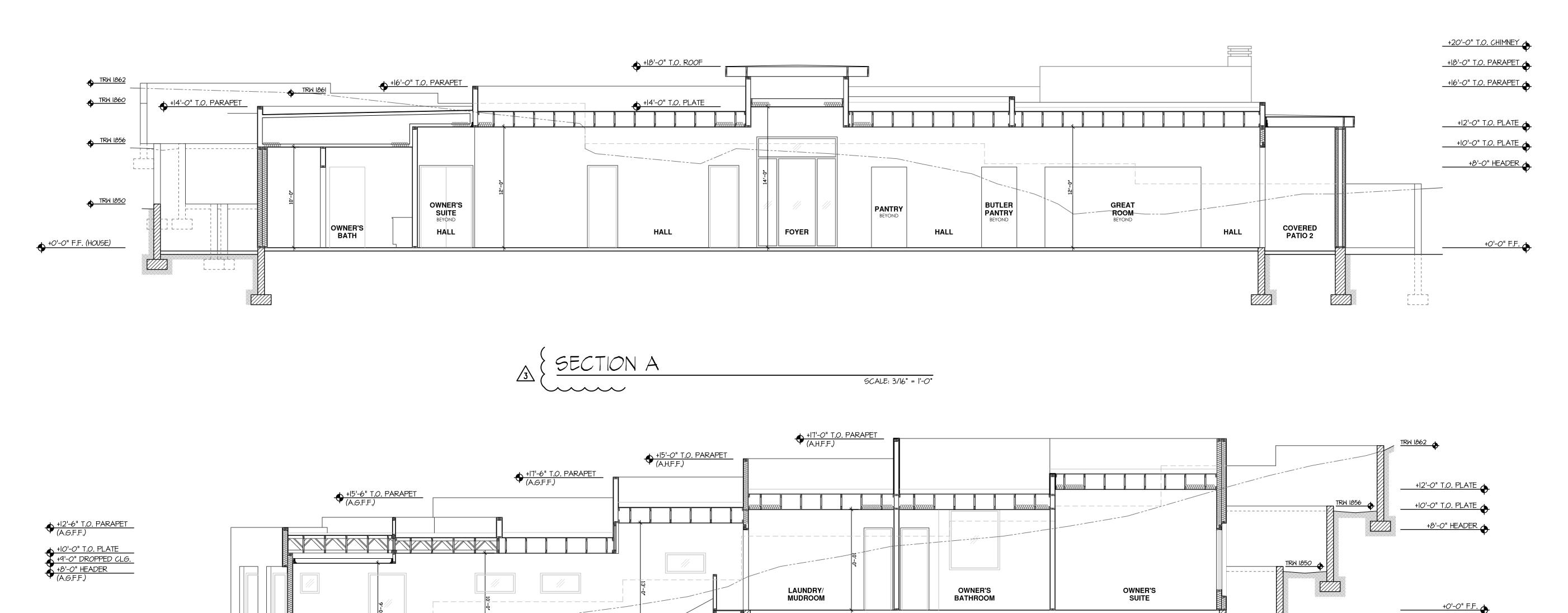
PROJECT NUMBER

DATE:

RETAINING WALL /
GRADE ELEVATIONS

8.16.2022

A4.2



SCALE: 3/16" = 1'-0"

4-CAR GARAGE

• -4'-4" F.F. (GARAGE)
• TRW 1841

GENERAL INFORMATION 1. ALL TRUSSES TO BE MANUFACTURED BY A CITY APPROVED FABRICATOR. 2. DESIGN TRUSSES TO CARRY EXTRA LOAD AT ANY & ALL CRIPPLE WALLS. . TRUSS DRAWINGS AND DATA TO BE PROVIDED TO FIELD INSPECTOR FOR COMPARISON TO FRAWING PLAN. 4. ALL WOOD RESTING ON OR ABUTTING TO CONCRETE OR MASONRY (MUDD SILL) SHALL BE PRESSURE TREATED OR FOUNDATION REDWOOD. 5. WESTERN ONE-KOTE STUCCO WALL FINISH (I.C.C. ESR *2729) OVER RESISTIVE BARRIER OF TYPE IS ASPHALT-SATURATED RAG FELT. 6. FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER IR.C. SEC. R703.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR. 7. WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 6" A.F.G. AT ALL EXTERIOR WALLS. 8. CONCRETE TILE ROOFS INSTALLED PER MANUFACTURERS SPECIFICATIONS AND I.C.C. ESR #1900. 9. ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR. 10. ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE. II. WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF I' SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT. 12. GARAGE DOOR SELECTION PER OWNER SPECIFICATIONS.
GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP.
WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR 13. COACH LIGHTS PER OWNER - CENTER AT +68" A.F.F. 14. ALL FOAM POPOUT PROJECTIONS (IF OCCURS) SHALL HAVE STUCCO SYSTEM FINISH U.N.O. 15. STUCCO NOTES:
A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES. B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS. THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER. 1" FOAM ROOF WITH ELASTOMETIC TOP COAT AND
#9 GRANULES. PROVIDE CRICKETS FOR POSITIVE DRAINAGE. 2 ONE-KOTE STUCCO SYSTEM (ESR *1607) OVER FOAM BOARD (ON AIS BOARD AT ATTIC AREAS). WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BUILDING (4) PRESSURE TREATED BOTTOM PLATE CONCRETE SLAB OVER TERMITE TREATED A.B.C. FILL (6) TOP OF PARAPET 7) PRE-FAB TRUSSES - SEE FRAMING PLAN AND TRUSS CALCULATIONS (8) 5/8" TYPE 'X' GYPSUM BOARD PER CITY REQUIREMENTS 1/2" GYPSUM BOARD (ESR #1338) PER 9 1/2" GYPSUM BOARD (EGR *1338) PER IR.C. TABLE R702.3.5

1/2" EXTERIOR TYPE GYPSUM BOARD (EGR *1338) PER IR.C. TABLE R702.3.5 (1) DOUBLE TOP PLATE (12) 2x4 STUDS AT 24" O.C. (NON-BEARING WALLS) (B) 2x4 STUDS AT 16" O.C. (BEARING WALLS) U.N.O. (14) 2x6 STUDS AT 16" O.C. (BEARING WALLS) U.N.O. (15) 2x6 STUDS AT 24" O.C. (NON-BEARING WALLS) (6) R-19 BATT INSULATION IN ALL EXTERIOR WALLS AND GARAGE WALLS R-38 SPRAY FOAM INSULATION IN ALL LIVEABLE ATTIC AREAS

KEYNOTES

(18) WOOD BEAM - SEE FRAMING PLAN

(23) LINE OF RETAINING WALL BEYOND

24) LINE OF EXTERIOR HARDSCAPE BEYOND

CONC. STEM AND FOOTING - SEE FOUNDATION PLAN

(22) NATURAL GRADE BEYOND - SEE CIVIL ENGINEERING

25 CEILING JOISTS - SEE STRUCTURAL FRAMING PLAN

(19) DROPPED CEILING

(20) TEMPERED GLASS

DESCRIPTION

9805 TALON TRAIL AIN HILLS, ARIZONA

FOL

Gilbert Structural LLC 414 East Southern Ave Tempe, Arizona 85282 Office (480) 398-8144

REVISION	NS .	
1	CITY COMMENTS	10.6.20
2 1	HOA COORDINATION	1.19.20
$\sqrt{3}$	OWNER CHANGES	11.XX.20
4		
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	L VILIMBED.	

8.16.2022

PROFESSIONAL SEAL

BUILDING SECTIONS



GENERAL INFORMATION

COMPLY TO I.R.C. AND N.E.C. FOR MECHANICAL AND ELECTRICAL EQUIPMENT LOCATION REQUIREMENTS

SURFACE MOUNTED INCADESCENT LIGHT FIXTURES IN

SURFACE MOUNTED INCADESCENT LIGHT FIXTURES IN CLOTHES CLOSET SHALL MAINTAIN 12" BETWEEN FIXTURE AND THE NEAREST POINT OF STORAGE - I.R.C.

. SEE GEN. ARCH NOTES FOR ALL CODE AND U.L. REGULATIONS.

4. BATHROOM OUTLETS TO BE A MIN. OF 20 AMP BRANCH CIRCUIT WITH NO OTHER OUTLETS. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN THREE FEET OF OUTSIDE EDGE OF BASIN - IR.C. SEC. E3801.6

 HALLWAY SMOKE DETECTORS TO BE A MINIMUM OF 3'-O" FROM RETURN AIR VENTING - PER MFR'S INSTRUCTIONS.

6. ELEC. OUTLETS AND SWITCHES BACK TO BACK IN FIRE SEPARATION WALLS MUST MAINTAIN SEPARATE BAYS OR MUST BE INSTALLED IN UL LISTED METAL BOX.

7. A MIN. OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY

8. ALL 125 VOLT, 15- AND 20-AMPERE RECEPTACLES WITHIN 5-6" OF FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

9. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND WALL/CEILING COVERING.

CIRCUIT - I.R.C. E302.12.

10. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15-AMP AND 20-AMP OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER(S) FOR THE ENTIRE BRANCH

ELECTRICAL SYMBOLS RECESSED CAN VAPOR PROOF REC. CAN EXTERIOR TYPE REC. CAN WALL MOUNT LIGHT HANGING / SURFACE LIGHT FLOOD LIGHTS 2-BULB FLUORESCENT LIGHT 3-WAY SWITCH DUPLEX OUTLET SWITCHED OUTLET 220v. OUTLET LOW VOLTAGE OUTLET JUNCTION BOX TELEVISION OUTLET PHONE AND/OR DATA OUTLET CEILING FAN WITH REINF. J-BOX EXHAUST FAN FUSED DISCONNECT SWITCH CHIMES @ +84" CONDENSOR MOTOR PUSH BUTTON SWITCH SMOKE DETECTOR

> CARBON MONOXIDE DETECTOR/ SMOKE DETECTOR COMBO.

> > KEYNOTES

DESCRIPTION

_____ VANITY FIXTURE

1) DOOR BELL - WIRED TO CHIMES

2	CHIMES - WIRED FROM DOOR BELL
3	RANGE AND OVEN WITH HOOD ABOVE
4	A/C COMPRESSOR DISCONNECT - COORDINATE LOCATION WITH MECHANICAL CONTRACTOR
(5)	EXHAUST FAN - PROVIDE MIN. 5 AIR CHANGES PER HOUR 50 C.F.M. FAN - U.N.O. ON PLAN
6	ELECTRIC SERVICE PANEL PER ELECTRICAL ENGINE
7	CEILING OUTLET FOR AUTOMATIC GARAGE DOOR OPENER - GFCI PER I.R.C. SEC. E3902.2
8	SCUTTLE ACCESS WITH SWITCH AND LIGHT - COORDINATE WITH MECHANICAL CONTRACTOR
9	WATER HEATER - ELECTRIC
(b)	20 AMP. CIRCUIT BREAKER OUTLET - 1 LEG SWITCH AT DISPOSAL, 1 LEG HOT AT DISHWASHER
1	A/C SPLIT SYSTEM - REFER TO MECHANICAL PLAI FOR SPECIFICATIONS AND UNIT LOCATIONS
(12)	AIR HANDLER
(3)	SMALL APPLIANCES PER OWNER
(14)	SOLAR TUBE FOR NATURAL LIGHTING

(15) POOL EQUIPMENT BY OTHERS

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05 TALON TRAIL I HILLS, ARIZONA

REVISIONS

1 CITY COMMENTS
10.6.202

1 HOA COORDINATION
1.19.202

3 OWNER CHANGES
11.XX.202

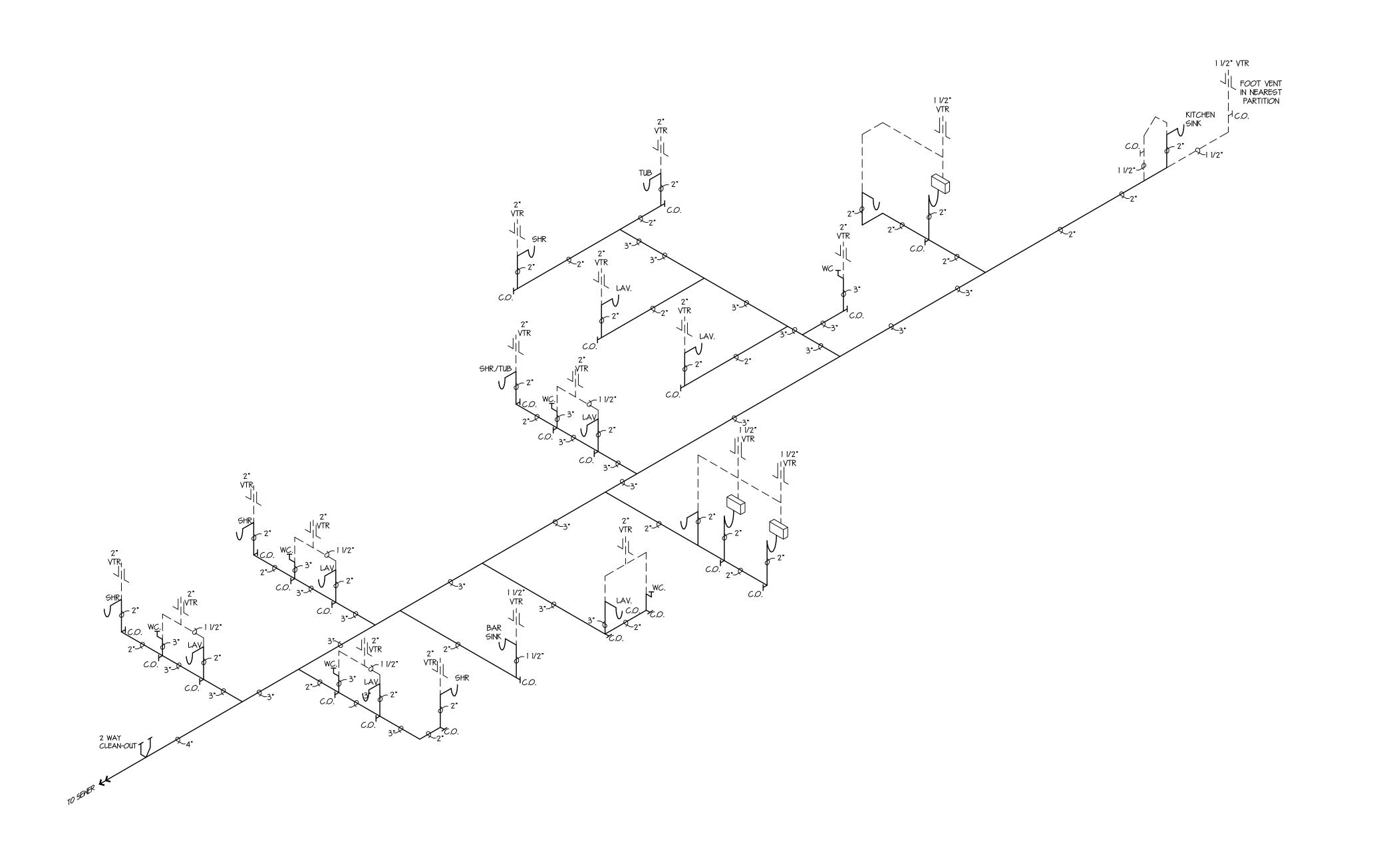
8.16.2022

PROJECT NUMBER: DATE:

PROFESSIONAL SEAL

ELECTRICAL PLAN
SHEET NUMBER:

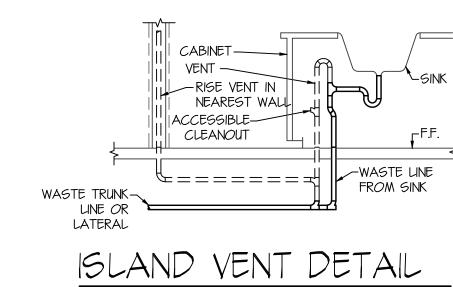
E1.1



NOT TO SCALE

PLUMBING PLAN 150

WATER METER INFORMATION 1) TOTAL NUMBER OF WATER SUPPLY FIXTURE UNIT VALUES : (IRC P2903.6) TYPE OF FIXTURE UNIT VALUE TOTAL UNITS TUB (WITH/ WITHOUT OVERHEAD SHOWER) | x 1.4 = 1.4 CLOTHES WASHER 2 x 1.4 = DISHWASHER 2 x 1.4 = 2.8 FULL-BATH GROUP WITH BATHTUB (WITH 5 x 3.6 = 18
OR WITHOUT SHOWER HEAD) OR
SHOWER STALL HALF-BATH GROUP (WATER CLOSET AND | x 2.6 = 2.6 HOSE BIBB (2 ONLY) 2 x 2.5 = 5 KITCHEN GROUP (DISHWASHER AND SINK | x 25 = WITH OR WITHOUT GARBAGE DISPOSAL) KITCHEN SINK LAUNDRY GROUP (CLOTHES WASHER STANDPIPE AND LAUNDRY TUB) LAUNDRY TUB LAVAT*O*RY 7 x O.7 = 4.9SHOWER STALL WATER CLOSET TANK TYPE 6 x 2.2 = 13.2 *OTHER $O \qquad O \qquad \qquad \qquad = \qquad \qquad O$ (FOR FIXTURE UNIT NOT LISTED, CHOOSE A FIXTURE WITH SIMILAR FLOW CHARACTERISTICS) TOTAL 56.0 2) TOTAL DEVELOPED LENGTH OF THE WATER LINE: 170'± FROM THE WATER METER TO THE FURTHEST WATER USING OUTLET. MULTIPLIED BY 1.2 (COMPENSATION FOR THE PRESSURE LOSS THROUGH FITTINGS) = 258'± (IRC AP201.3) 3) BASE WATER PRESSURE = ______psi
4) THE HIGHEST WATER SUPPLY OUTLET IS _____FEET ABOVE THE ELEVATION AT THE WATER METER. METER SIZE: 1° VERIFY
SUPPLY SIZE: 1 ¼° VERIFY *WATER SUPPLY OUTLETS FOR ITEMS NOT LISTED ABOVE SHALL BE COMPUTED AT THEIR MAXIMUM DEMAND OR ACCORDING TO THE SIZE OF THE SUPPLY PIPE AS INDICATED IN THE INTERNATIONAL PLUMBING CODE; WHICHEVER IS GREATER.



ISLAND VENT DETAIL

N.T.S.

	WASTE ISOMETRIC
1.	PLUMBING SHALL BE IN ACCORDANCE WITH THE 2015 I.P.C., 2015 I.R.C. AND ALL APPLICABLE CITY OF SCOTTSDALE ADOPTED CODES AND ORDINANCES.
2.	WASTE AND VENT PIPE SHALL BE ABS PLASTIC P.V.C. SCHEDULE 40
3.	THIS DIAGRAM IS FOR PIPE SIZE & CLEAN OUT LOCATION ONLY. SIZE PIPE ACCORDING TO I.P.C. TBL. 709.1 AND 912.3; I.R.C. TBL. P3111.3
4.	PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CONTROL VALVES FOR ALL SHOWER AND TUB/SHOWER COMBINATIONS.
5.	ALL CLEANOUTS SHALL BE INSTALLED A MIN. OF 4" ABOVE FINISHED FLOOR.
6.	P2902.I GENERAL. A POTABLE WATER SUPPLY SYSTEM

A MIN. OF 4" SHALL BE DESIGNED AND INSTALLED IN SUCH A MANNER AS TO PREVENT CONTAMINATION FROM NONPOTABLE LIQUIDS, SOLIDS OR GASES BEING INTRODUCED INTO THE POTABLE WATER SUPPLY. CONNECTIONS SHALL NOT BE MADE TO A POTABLE WATER SUPPLY IN A MANNER THAT COULD CONTAMINATE THE WATER SUPPLY OR PROVIDE A CROSS-CONNECTION BETWEEN THE SUPPLY AND SOURCE OF CONTAMINATION UNLESS AN APPROVED BACKFLOW PREVENTION DEVICE IS PROVIDED. CROSS-CONNECTIONS
BETWEEN AN INDIVIDUAL WATER SUPPLY AND A POTABLE
PUBLIC WATER SUPPLY SHALL BE PROHIBITED.

7. P2905.14 SOLDERED JOINTS. SOLDERED JOINTS IN TUBING SHALL BE MADE WITH FITTINGS APPROVED FOR WATER PIPING AND SHALL CONFORM TO ASTM B 828. SURFACES TO BE SOLDERED SHALL BE CLEANED BRIGHT. THE JOINTS SHALL BE PROPERLY FLUXED AND MADE WITH APPROVED SOLDER. SOLDERS AND FLUXES USED IN POTABLE
WATER-SUPPLY SYSTEMS SHALL HAVE A MAXIMUMOF 0.2
PERCENT LEAD. FLUXES SHALL CONFORM TO ASTM B 813.

8. P3008.I GENERAL. FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS.

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PROFESSIONAL SEAL

8.16.2022

PLUMBING ISO

SHEET NUMBER:

STRUCTURAL NOTES

IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE 2018

GENERAL:

WHERE SPECIFIC INSTRUCTIONS IN THESE SPEC'S REQUIRE THAT A PARTICULAR PRODUCT AND/OR MATERIAL(S) BE INSTALLED AND/OR APPLIED BY AN APPROVED APPLICATOR OF THE MANUFACTURER, IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO ENSURE THE WORK BE DONE BY AN APPROVED APPLICATOR.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS UNLESS GENERAL STRUCTURAL NOTES ARE MORE STRINGENT. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS.

TYPICAL DETAILS MAY NOT NECESSARILY BE PUT ON THE PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES, SPECIFICATIONS AND ALL APPLICABLE CODES, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. THIS OFFICE MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

ANY STRUCTURAL DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF THE PROPOSED CONSTRUCTION.

ALL PRODUCTS LISTED BY I.C.C./P.R.P. NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION(S) FOR PRODUCT(S) LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.

THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES WILL INCLUDE, BUT NOT BE LIMITED TO BRACING AND SHORING. THE PROJECT ARCHITECT OR THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS OR METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND PROGRAMS RELATING THERETO.

DESIGN LOADS:

ROOF LIVE LOAD = 20 P.S.F. AT 'FLAT' ROOFS, 20 P.S.F. AT TILE ROOFS ROOF DEAD LOAD = 15 P.S.F. AT 'FLAT' ROOFS, 20 P.S.F. AT TILE ROOFS

WIND LOAD = VULT 115 mph, EXPOSURE C = VASD 90 mph (APPLICABLE PER SEC. 1609.1.1)

SEISMIC DESIGN CATEGORY B (I.R.C. TABLE R301.2.2.1.1)

SITE WORK

FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10 FEET TO AN APPROVED WATER DISPOSAL AREA.

FOUNDATIONS:

FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEO-TECHNICAL REPORT PREPARED BY ARIZONA ANALYTICAL INSPECTION & TESTING (AAIT). JOB # 2101807 DATED JULY 30, 2021. ALLOWABLE BEARING PRESSURE IS 2500 PSF AT 18" BELOW FINISH GRADE.

ALL RECOMMENDATIONS IN THE GEO-TECHNICAL REPORT TAKE PRECEDENCE OVER ANY AND ALL GENERAL STRUCTURAL NOTES CONTAINED HEREIN.

PRIOR TO ANY BACK FILLING, ALL BASEMENT OR FOUNDATION WALLS ARE TO BE ADEQUATELY BRACED SO AS TO PREVENT EXCESSIVE PRESSURES DURING CONSTRUCTION, BACK FILLING AND COMPACTION. ALL BRACING TO REMAIN IN POSITION UNTIL MASONRY AND/OR CONCRETE REACHES FULL DESIGN STRENGTH.

REINFORCED CONCRETE

(THESE NOTES DO NOT APPLY TO POST TENSION OR PRE-STRESSED CONCRETE) DESIGNS BASED ON 2500 P.S.I., HOWEVER, MIX DESIGNED AS FOLLOWS:

MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH:
FOUNDATIONS = 3,000 P.S.I., TYPE II CONCRETE
WALKS, DRIVES AND EXTERIOR SLABS = 3,000 P.S.I.

ALL PROCEDURES, PLACEMENT, FORM WORK, LAP ETC. TO CONFORM WITH LATEST A.C.I. STANDARDS. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT THE SLABS ON GRADE NEED TO BE VIBRATED ONLY AROUND UNDER-FLOOR DUCTS,

ALL CONCRETE SLABS ON GRADE SHALL BE BOUNDED BY CONSTRUCTION JOINTS (KEYED OR SAW CUT) SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 400 SQUARE FEET. KEYED CONSTRUCTION JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING POURING. ALL OTHER JOINTS MAY BE SAW CUT OR MAY USE "ZIP-STRIPS".

REINFORCEMENT:

MAXIMUM SLUMP

ASTM A615 (Fy = 60,000 P.S.I.) LATEST ACI CODE AND DETAILING MANUAL APPLY.

UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE CLEAR CONCRETE COVER PROVIDED FOR REINFORCEMENT SHALL BE: CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"

EXPOSED TO EARTH OR WEATHER:

(1) NO. 6 AND LARGER

(2) NO. 5 AND SMALLER

:1½"

NOT EXPOSED TO WEATHER OR IN CONTACT WITH
THE GROUND (SLABS & WALLS)

BEAMS, GIRDERS, COLUMNS, PRIMARY REINFORCEMENT
TIES STIRRUPS, SPIRALS

:1½"

UNLESS NOTED OTHERWISE, LAP SPLICES IN CONCRETE SHALL BE CLASS "B" TENSION LAP SPLICES 40 BAR DIAMETER MINIMUM. STAGGER ALTERNATE SPLICES A MINIMUM OF ONE LAP LENGTH. ALL SPLICE LOCATIONS SUBJECT TO APPROVAL. PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF FOOTINGS AND WALLS. REINFORCING BAR SPACING GIVEN ARE MAXIMUM ON VERTICAL REINFORCING TO FOUNDATION. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.

MASONRY VENEER SHALL BE ANCHORED WITH A MINIMUM OF ONE 22 GA. GALVANIZED METAL ANCHOR FOR EACH TWO SQUARE FEET OF WALL AREA.

STRUCTURAL LUMBER

THE WESTERN WOOD PRODUCTS ASSOCIATION OR WEST COAST LUMBER INSPECTION GRADING (MUST COMPLY WITH LATEST ADOPTED N.D.S. STANDARDS)

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF SAWN LUMBER.

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF AGENCY. ALL LUMBER SHALL BEAR AN APPROVED GRADING STAMP.

MASONRY

CONCRETE BLOCK UNITS - Fm = 1900 P.S.I. BRICK UNITS - GRADE A: Fm = 2500 P.S.I.

GROUT: 2000 P.S.I. MORTAR — TYPE S: 1800 P.S.I.

PROVIDE DUR-O-WIRE AT 16" O.C. VERTICAL IN HORIZONTAL JOINTS. 9 GAUGE WIRE MINIMUM LAP REINFORCEMENT 16". SOLID GROUT ALL MASONRY CELLS FULL HEIGHT WHERE REBARS OCCUR.

JOISTS AND HEADERS:

ALL STRUCTURAL FRAMING MEMBERS SHALL BE DFL-2 OR BETTER WITH THE FOLLOWING MINIMUM VALUES, UNLESS OTHERWISE

Fb	=	875 P.S.I.
Ft (PARALLEL TO GRAIN)	=	575 P.S.I.
Fc (PERP. TO GRAIN)	=	625 P.S.I.
Fc (PARALLEL TO GRAIN)	=	1300 P.S.I.
Fv	=	95 P.S.I.
E	=	1,600,000 P.S.I.

TIMBERS

ALL STRUCTURAL FRAMING MEMBERS SHALL BE DFL-1 OR BETTER WITH THE FOLLOWING MINIMUM VALUES, UNLESS OTHERWISE NOTED:

=	1200 P.S.I.
=	825 P.S.I.
=	625 P.S.I.
=	1000 P.S.I.
=	85 P.S.I.
= 1,	600,000 P.S.I.
	= = = =

STUDS AND POSTS:

ALL STUDS & POSTS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

MEMBER E psi (MIN.) SPECIES AND GRADE

POSTS 4x4, 4x6 1,600,000 DFL-2

POSTS 6x6, 6x8 1,600,000 DFL-1

STUDS 2x4, 3x4, 2x6 1,200,000 HEM-FIR-2 OR BETTER

INTERIOR BEARING WALLS 2x AT 16" O.C. U.N.O.

INTERIOR NON-BEARING WALLS 2x AT 24" O.C. U.N.O.

(FOR STUD SPACING AT 24" O.C., THREE-PLY PLYWOOD OR EQUAL WALL SHEATHING SHALL BE APPLIED WITH LONG DIMENSION ACROSS STUDS TO CONFORM WITH TABLE 602.3(3))

GENERAL:

ALL LUMBER SHALL BE PROPERLY STORED OFF GROUND AND ADEQUATELY PROTECTED FROM THE ELEMENTS.

CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER HAS APPROPRIATE AGENCY STAMPS.

CONTRACTOR SHALL SUPERVISE LUMBER SUPPLIER WHILE OFF LOADING LUMBER MATERIAL TO PREVENT DAMAGE, SPLITTING AND / OR BREAKING OF ANY MATERIAL.

FRAMING CONNECTORS NOTED ARE MANUFACTURED BY SIMPSON STRONG TIE COMPANY, INC. SIMPSON STRONG TIE CONNECTORS ARE SPECIFICALLY REQUIRED TO MEET THE STRUCTURAL CALCULATIONS OF THESE PLANS. BEFORE SUBSTITUTING ANOTHER BRAND THE CONTRACTOR SHALL CONFIRM THE LOAD CAPACITY BASED ON RELIABLE PUBLISHED TESTING DATA OR CALCULATIONS FROM THE SUBSTITUTION BRAND COMPANY, PRIOR TO THEIR USE.

ALL LUMBER (INCLUDING POSTS, BEAMS AND LAMINATED LUMBER) EXPOSED TO THE ELEMENTS SHALL BE PRESSURE TREATED PER I.R.C. 2018. ALL FASTENERS FOR PRESSURE TREATED LUMBER SHALL BE AS PER I.R.C. 2018.

PROVIDE DIAGONAL LET IN BRACING AT ALL EXTERIOR CORNERS AT MAXIMUM 25' O.C. USE 36" PLYWOOD OR EQUAL SHEAR PANEL WHERE LET IN BRACING IS NOT APPLICABLE.

NON STRUCTURAL FIRE STOPPING AND / OR DRAFT STOPPING ARE NOT INDICATED ON THE STRUCTURAL DRAWINGS AND ARE PER THE ARCHITECTURAL DRAWINGS.

GLU-LAM BEAMS :

GLU-LAM BEAMS SHALL HAVE THE FOLLOWING PROPERTIES:

Fb = 2,400 P.S.I. Fv = 190 P.S.I. Fc (PERP) = 450 P.S.I. (COMB. SYM. 24FV4) E = 1,800,000 P.S.I.

BEAMS CANTILEVERED OVER SUPPORTS SHALL HAVE THE SPECIFIED MINIMUM PROPERTIES TOP AND BOTTOM. (COMB. SYM.

ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE.

FABRICATION AND HANDLING PER LATEST AITC AND WCLA STANDARDS.

BEAMS TO BEAR AITC STAMP AND CERTIFICATE AND GRADE STAMP. CAMBER AS SHOWN ON DRAWINGS.

SILL PLATE :

ALL INTERIOR AND EXTERIOR WALL SILL PLATES TO CONCRETE FOUNDATION WALLS SHALL BE PRESSURE TREATED WITH MINIMUM 2x4 MEMBERS, AND ANCHORED USING ½" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. (MAXIMUM) OR AS SHOWN ON THE DRAWINGS, WHICHEVER IS LESS. THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION SHALL TEST ANY ANCHORING METHOD SUBSTITUTION. CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER IN WRITING DESCRIBING IN DETAIL THE ALTERNATIVE ANCHORING METHOD. MINIMUM BOLTS EMBEDDED SHALL NOT BE LESS THAN 7", WITH A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF SILL PLATE, AND SHALL BE PLACED 12 INCHES OR LESS THAN SEVEN BOLT DIAMETERS FROM THE END OF EACH SECTION OF SILL PLATE PER I.R.C. 2018.

SHEATHING

ALL PLYWOOD SHALL CONFIRM TO APA STAND. PS1 AND PRP 108 EXPOSURE 1.

ICC APPROVED ORIENTED STRAND BOARD MAY BE USED IN PLACE OF PLYWOOD (PRP 108).

ALL PLYWOOD SHALL BE OF THE FOLLOWING THICKNESS, AND SHALL BE NAILED WITH COMMON NAILS AS FOLLOWS:

	THICKNESS	EDGE NAILING	INTERIM NAILING
ROOF FLOOR	1/2" 3/4" 74."	8d AT 6" O.C. 10d AT 6" O.C.	8d AT 12" O.C. (U.N.O.) 10d AT 12" O.C. (U.N.O.)
WALL	7∕ ₁₆ "	8d AT 6" O.C.	8d AT 12" O.C. (U.N.O.)

STRUCTURAL STEE

ALL STRUCTURAL STEEL SHALL BE ASTM A992 (Fy = 50 KSI). ALL CHANNELS, ANGLES, AND PLATES SHALL BE ASTM A36 (Fy = 36 KSI). ALL TUBE STEEL SHALL BE ASTM A500 (Fy = 46 KSI). ALL BOLTS SHALL BE ASTM A307, UNLESS NOTED OTHERWISE. ALL CONSTRUCTION PER LATEST AISC HANDBOOK. ALL EXPANSION AND EPOXY BOLTS TO HAVE ICC RATING FOR MATERIAL INTO WHICH INSTALLATION TAKES PLACE. ALL BOLTS, ANCHOR BOLTS, EXPANSION BOLTS, ETC. SHALL BE INSTALLED WITH STEEL WASHERS AT SLOTTED HOLES IN STEEL SECTIONS. ALL WELDS SHALL BE PERFORMED BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELD SHOWN ON THE DRAWING OR NOTES. CERTIFICATES SHALL THOSE ISSUED BY AN ACCEPTED TESTING AGENCY. ALL WELDING DONE BY E70 SERIES LOW HYDROGEN RODS UNLESS NOTED OTHERWISE. FOR GRADE 60 REINFORCING BARS, USE E90 SERIES. ALL WELDING PER LATEST AMERICAN WELDING SOCIETY STANDARDS, (EXCEPT STEEL JOISTS SHALL COMPLY WITH SJI STANDARDS). THESE DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP AND FIELD WELDS, THE CONTRACTOR MAY SHOP WELD OR FIELD WELD AT HIS/HER DISCRETION. SHOP WELDS AND FIELD WELDS SHALL BE SHOWN ON THE SHOP DRAWINGS SUBMITTED FOR REVIEW. WHEN STRUCTURAL STEEL IS FURNISHED TO A SPECIFIED MINMIMUM YIELD POINT GREATER THAN 36 KSI, THE ASTM OR OTHER SPECIFICATION DESIGNATION SHALL BE INCLUDED NEAR THE ERECTION MARK ON EACH SHIPPING ASSEMBLY OR IMPORTANT CONSTRUCTION COMPONENT, OVER ANY SHOP COAT OF PAINT, PRIOR TO SHIPMENT FROM FABRICATOR'S PLANT.

DEFERRED SUBMITTAL

SHOP DRAWING SUBMITTALS REQUIRED BY THESE GENERAL STRUCTURAL NOTES WHICH CONTAIN DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER OTHER THAN THE ENGINEER OF RECORD, SHALL BE SUBMITTED DURING CONSTRUCTION TO THE CITY FIELD INSPECTOR FOR REVIEW. THE DOCUMENTS WILL BE FIRST REVIEWED BY THE ENGINEER OF RECORD AND DETERMINED TO BE IN CONFORMANCE WITH THE BUILDING DESIGN. THESE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SPECIAL INSPECTIONS:

PER THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, SPECIAL INSPECTIONS ARE REQUIRED FOR STRUCTURAL ITEMS SUCH AS:

1. EPOXY PROCEDURES

EXPANSION ANCHORS RETAINING WALLS

ALL PROCEDURES LISTED ABOVE REQUIRE CONSTANT ON—SITE STRUCTURAL SUPERVISION EXCEPT STRUCTURAL WELDING WHICH CAN BE DONE WHEN ALL WELDING IS COMPLETE AND PRIOR TO COVERING UP ANY WELDED ITEMS.

THE INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR THE INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL

	TABLE R602.3		
	FASTENER SCHEDULE FOR STR	UCTURAL MEMBERS	
ГЕМ	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER (a,b,c)	SPACING AND LOCATION
	ROOF		
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	4-8d BOX (2½" X 0.113") OR 3-8d COMMON (2½" X 0.131") OR 3-10d BOX (3" X 0.128) OR 3-3" X 0.131" NAILS	toe nail
2	CEILING JOISTS TO TOP PLATE	4-8d BOX (2½" X 0.113") OR 3-8d COMMON (2½" X 0.131") OR 3-10d BOX (3" X 0.128) OR 3-3" X 0.131" NAILS	PER JOIST, TOE NAIL
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.5.1(9)]	4-10d BOX(3" X 0.128") OR 3-16d COMMON (3½" X 0.162") OR 4-3" X 0.131" NAILS	FACE NAIL
4	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER (HEEL JOINT) [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.5.1(9)]	TABLE 802.5.1(9)	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1½"x20 GAGE RIDGE STRAP	4-10d BOX(3" X 0.128") OR 3-10d COMMON (3½" X 0.148") OR 4-3" X 0.131" NAILS	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16d BOX (3½" X 0.135") OR 3-10d COMMON (3" X 0.148") OR 4-10d BOX (3" X 0.128) OR 4-3" X 0.131" NAILS	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO	4-16d BOX (3½" X 0.135") OR 3-10d COMMON (3½" X 0.148") OR 4-10d BOX (3" X 0.128) OR 4-3" X 0.131" NAILS	toe nail
	MINIMUM 2" RIDGE BEAM	3-16d BOX (3½" X 0.135") OR 2-16d COMMON (3½" X 0.162") OR 3-10d BOX (3" X 0.128) OR 3-3" X 0.131" NAILS	END NAIL
	WALL		
	STUD TO STUD	16d COMMON (3½" X 0.162")	24" O.C. FACE NAIL.
8	(NOT AT BRACED WALL PANELS)	10d BOX (3" X 0.128") OR 3" x 0.131" NAILS	16" O.C. FACE NAIL.
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS	16d BOX (3½" X 0.135") OR 3" X 0.131" NAILS	12" O.C. FACE NAIL.
	(AT BRACE WALL PANELS)	16d BOX (3½" X 0.162")	16" O.C. FACE NAIL.
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d COMMON (3½" X 0.162")	16" O.C. EACH EDGE OF FACE NAIL
11	CONTINUOUS HEADER TO STUD	16d BOX (3½" X 0.135") 5-8d BOX(2½" X 0.113") OR 4-8d COMMON (2½" X 0.131")	12" O.C. EACH EDGE OF FACE NAIL TOE NAIL
		OR 4-10d BOX (3" X 0.128") 16d COMMON (3½" X 0.162")	16" O.C. FACE NAIL.
12	TOP PLATE TO TOP PLATE	10d BOX (3" X 0.128") OR 3" x 0.131" NAILS	12" O.C. FACE NAIL.
13	DOUPLE TOP PLATE SPLICE FOR SDCs-A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25'	8-16d COMMON (3½" X 0.162") OR 12-16d BOX (3½" X 0.135) OR 12-10d BOX (3" X 0.128) OR 12-3" X 0.131" NAILS	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGHT EACH SIDE OF END
	DOUPLE TOP PLATE SPLICE SDCs D $_0$, D $_1$, OR D $_2$; AND BRACED WALL LINE SPACING $<$ 25'	12-16d (3½" X 0.135")	JOINT)
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3½" X 0.162") 16d BOX (3" X 0.128") OR 3" x 0.131" NAILS	16" O.C. FACE NAIL. 12" O.C. FACE NAIL.
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS)	3-16d BOX (3½" X 0.135") OR 2-16d COMMON (3½" X 0.162") OR 4-3" X 0.131" NAILS	3 EACH 16" O.C. FACE NAIL 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8d BOX (2½" X 0.113") OR 3-16d BOX (3½" X 0.135") OR 4-8d COMMON (2½" X 0.131") OR 4-10d BOX (3" X 0.128) OR 4-3" X 0.131" NAILS	TOE NAIL
		3-16d BOX (3½" X 0.135") OR 2-16d COMMON (3½" X 0.162") 3-10d BOX (3" X 0.128") OR 3-3" X 0.131" NAILS	END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10d BOX (3" X 0.128") OR 2-16d COMMON (3½" X 0.162") OR 3-3" X 0.131" NAILS	FACE NAIL
18	1" BRACE TO EACH STUD AND PLATE	3-8d BOX (2½" X 0.113") OR 2-8d COMMON (2½" X 0.131") 2-10d BOX (3" X 0.128") OR 2 STAPLES 1¾"	FACE NAIL
19	1" X 6" SHEATHING TO EACH BEARING	3-8d BOX (2½" X 0.113") OR 2-8d COMMON (2½" X 0.131") 2-10d BOX (3" X 0.128") OR 2 STAPLES, 1 CROWN, 16GA 1¾"	FACE NAIL
20	1" X 8" AND WIDER SHEATHING TO EACH BEARING WIDER THAN 1" X 8"	3-8d BOX (2½" X 0.113") OR 3-8d COMMON (2½" X 0.131") 3-10d BOX (3" X 0.128") OR 3 STAPLES, 1" CROWN, 16 GA, 1¾" 4-8d BOX (2½" X 0.113") OR 3-8d COMMON (2½" X 0.131") 3-10d BOX (3" X 0.128") OR 4 STAPLES, 1" CROWN, 16 GA, 1¾"	FACE NAIL

		TABLE R602.3(1) - CON FASTENER SCHEDULE FOR STRU		
ITEM	DESCRIPTION OF B		NUMBER AND TYPE OF FASTENER (a,b,c)	SPACING AND LOCATION
		FLOOR		
-		FLOOR		
21	JOIST TO SILL, TOP PLATE OR GIRDER		4-8d BOX (2½" X 0.113") OR 3-8d COMMON (2½" X 0.131") OR 3-10d BOX (3" X 0.128) OR 3-3" X 0.131" NAILS	TOE NAIL
			8d BOX (2½" X 0.113") OR	4" O.C. FACE NAIL.
22	RIM JOIST, BAND JOIST OR BLOCKING TO S (ROOF APPLICATIONS ALSO)	SILL OR TOP PALTE	8d COMMON (2½" X 0.131") OR 10d BOX (3" X 0.128) OR 3-3" X 0.131" NAILS	6" O.C. FACE NAIL.
23	1" X 6" SUBFLOOR OR LESS TO EACH JOI		3-8d BOX (2½" X 0.113") OR 2-8d COMMON (2½" X 0.131") OR 3-10d BOX (3" X 0.128) OR 2 STAPLES, 1" CROWN, 16 GA, 1¾"	FACE NAIL
24	2" SUBFLOOR TO JOIST OR GIRDER		3-16d BOX (3½" X 0.135") OR 2-16d COMMON (3½" X 0.162")	BLIND AND FACE NAIL
25	2" PLANKS (PLANK & BEAM - FLOOR &		3-16d BOX (3½" X 0.135") OR 2-16d COMMON (3½" X 0.162")	AT EACH BEARING FACE NAIL
26	BAND OR RIM JOIST TO JOIST		3-16d COMMON (2½" X 0.162") OR 4-10d BOX (3" X 0.128") OR 4-3" X 0.131" NAILS OR 4-3" X 14GA STAPLES, 1/6" CROWN	END NAIL
			20d COMMON (4" X 0.92") OR	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH L	UMBER LAYERS	3-16d BOX (3½" X 0.135") OR 2-16d COMMON (3½" X 0.162")	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
			AND 2-20d COMMON (4" X 0.192") OR 3-10d BOX (3" X 0.128") OR 3-3" X 0.131" NAILS OR	FACE NAIL AT ENDS AND AT EACH SPLICE
28	LEDGER STRIP SUPPORTING JOISTS OR RAI	FTERS	4-16d BOX (3½" X 0.135") OR 3-16d BOX (3½" X 0.162") OR 4-10d BOX (3" X 0.128") OR 4-3" X 0.131" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL
29	BRIDGING TO JOIST		2-10d BOX (3" X 0.128") OR	EACH END, TOE NAIL
		TABLE R602.3(1) - CON FASTENER SCHEDULE FOR STRU		
			SPACING OF	FASTENERS
ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENERS (b,c,d,e)	EDGES (INCHES)	INTERMEDIATE SUPPORTS (c,e) (INCHES)
	WOOD STRUCTURAL PANELS, SUBFLOO	R, ROOF AND WALL SHEATHING TO FRAMIN	G, AND PARTICLEBOARD WALL SH	EATHING TO FRAMING
30	¾" −½"	6d COMMON (2"x0.113") (SUBFLOOR, WALL)(j) 8d COMMON (2½"x0.131) NAIL (ROOF)(f)	6	12 (f)
31	19/32" - 1"	8d COMMON NAIL (2½"x0.131")	6	12 (f)
32	11/8" - 11/4"	10d COMMON (3"x0.148") NAIL OR 8d (2½"x0.131") DEFORMED NAIL	6	12
		OTHER WALL SHEATHING (h	n)	
33	½" REGULAR CELLULOSIC FIBERBOARD SHEATHING	1½" GALVANIZED ROOFING NAIL, χ_6 " CROWN OR 1" CROWN STAPLE 16 ga., 1 χ " LONG.	3	6
34	²⁵ / ₃₂ " STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	$13\!$	3	6
35	½" GYPSUM SHEATHING(d)	1½" GALVANIZED ROOFING NAIL, STAPLE GALVENIZED, 1½" LONG; 1¼" SCREWS, TYPE W OR S	7	7
36	%" GYPSUM SHEATHING(d)	1¾" GALVANIZED ROOFING NAIL, STAPLE GALVENIZED, 1½" LONG; 1¼" SCREWS, TYPE W OR S	7	7
Â	WOOD STRUC	TURAL PANELS, COMBINATION SUBFLOOR	UNDERLAYMENT TO FRAMING	
37	¾" AND LESS	6d DEFORMED (2" x 0.120") NAIL OR 8d COMMON (2½" x 0.131) NAIL	6	12
38	⅓" − 1"	8d COMMON (2½" x 0.131") NAIL OR 8d DEFORMED (2½" x 0.120) NAIL	6	12
39	11/8" - 11/4"	10d COMMON (3" x 0.148") NAIL OR 8d DEFORMED (2½" x 0.120) NAIL	6	12

FOR SI: 1 INCH = 25.4 mm, 1 FOOT = 304.8 mm, 1 MILE PER HOUR = 0.447 m/S; 1 Ksi = 6.895 MPa.

a. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS, EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 ksi (551 MPa) FOR SHANK DIAMETER OF 0.192 INCH (20d COMMON NAIL), 90 ksi (620 MPa) FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 ksi (689 MPa) FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.

b. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 76" ON DIAMETER CROWN WIDTH.
c. NAILS SHALL BE SPACED AT NO MORE THAN 6" O.C. AT ALL SUPPORTS WHERE SPANS ARE 48" OR GREATER.

d. 4'-0" X 8'-0" OR 4'-0" X 9'-0" PANELS SHALL BE APPLIED VERTICALLY.

SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

e. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).

f. WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 MPH OR LESS, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING BE SPACED 6" O.C.. WHERE THE ULTIMATE DESIGN WIND SPEED IS GREATER THAN 130 MPH, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" O.C. FOR A MINIMUM 48" DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4" O.C. TO GABLE END WALL FRAMING.

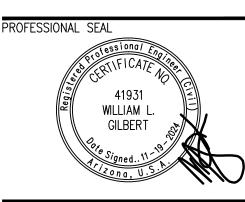
g. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.

h. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID

i. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE

SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE

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HOA COORDINATION 1.19.2023

RETAINING WALL DETAIL 5.1.2024

OWNER CHANGES 11.19.2024

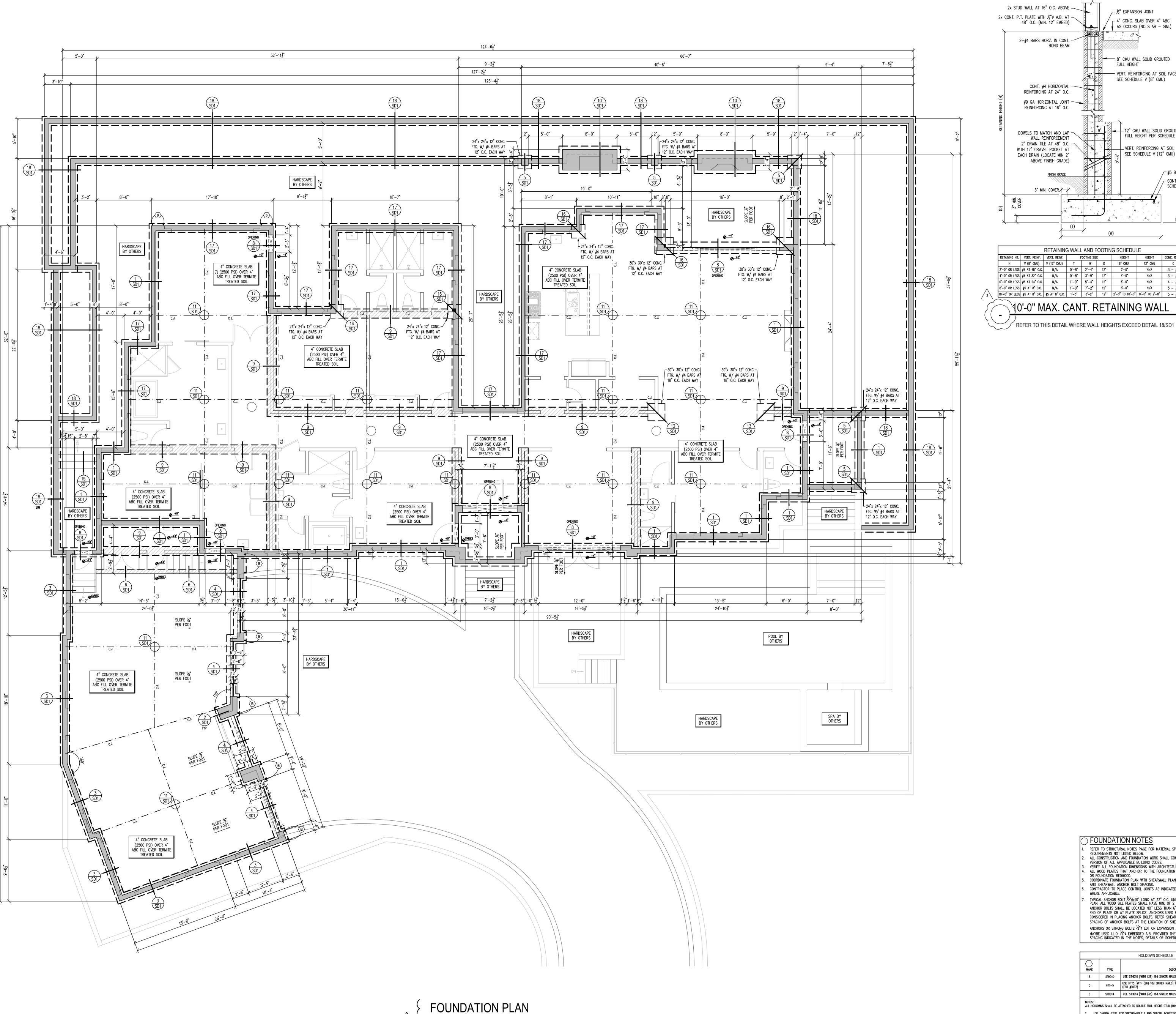
PROJECT NUMBER

SHEET NUMBER:

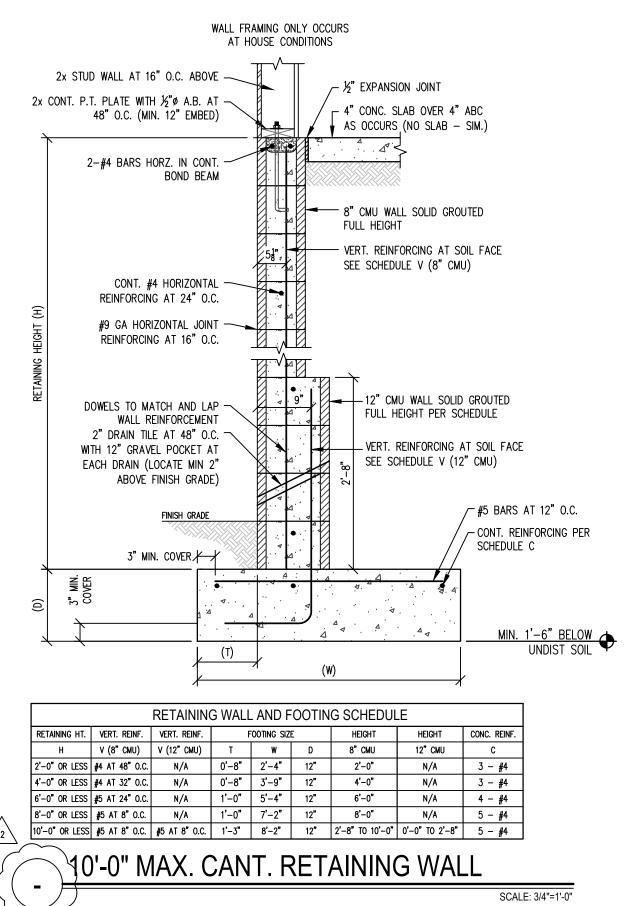
GENERAL
STRUCTURAL NOTES

8.16.2022

GSN



SCALE: 3/16" = 1'-0"



FOUNDATION NOTES

OR FOUNDATION REDWOOD.

WHERE APPLICABLE.

REFER TO STRUCTURAL NOTES PAGE FOR MATERIAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS NOT LISTED BELOW.

ALL CONSTRUCTION AND FOUNDATION WORK SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF ALL APPLICABLE BUILDING CODES.

ALL WOOD PLATES THAT ANCHOR TO THE FOUNDATION SHALL BE PRESSURE TREATED

COORDINATE FOUNDATION PLAN WITH SHEARWALL PLAN FOR LOCATION OF HOLDOWNS

AND SHEARWALL ANCHOR BOLT SPACING. CONTRACTOR TO PLACE CONTROL JOINTS AS INDICATED ON THE FOUNDATION PLAN

7. TYPICAL ANCHOR BOLT ½"0x10" LONG AT 32" O.C. UNLESS NOTED OTHERWISE ON PLAN. ALL WOOD SILL PLATES SHALL HAVE MIN. OF 2 ANCHOR BOLTS PER PLATE. ANCHOR BOLTS SHALL BE LOCATED NOT LESS THAN 6" NOR MORE THAN 12" FROM END OF PLATE OR AT PLATE SPLICE. ANCHORS USED FOR HOLDOWNS SHALL NOT BE CONSIDERED IN PLACING ANCHOR BOLTS. REFER SHEAR WALL LAYOUT PLAN FOR THE SPACING OF ANCHOR BOLTS AT THE LOCATION OF SHEAR PANELS. (SIMPSON MASA

ANCHORS OR STRONG BOLT2 $\frac{1}{2}$ " \emptyset LDT OR EXPANSION ANCHORS (MIN. $2\frac{1}{2}$ " EMBED.) MAYBE USED I.L.O. ½% EMBEDDED A.B. PROVIDED THEY ARE INSTALLED AT THE SAME SPACING INDICATED IN THE NOTES, DETAILS OR SCHEDULES OF THIS PLAN.)

HOLDOWN SCHEDULE

* USE CARBON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED (ESR-3037)

SEE DETAIL 12/SD1 FOR RETROFIT HOLDOWN APPLICATION

#4 REBAR REQUIRED FOR HOLDOWNS INSTALLED AT RAISED CURB LOCATIONS ONLY.

INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

HTT-5 USE HTT5 [WITH (26) 10d SINKER NAILS] %" STRONG-BOLT 2 WITH 5-%" EMBED (ESR #3037)

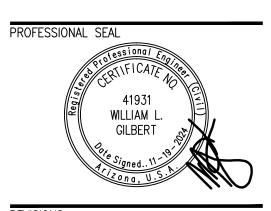
B STHD10 USE STHD10 [WITH (28) 16d SINKER NAILS]

D STHD14 USE STHD14 [WITH (38) 16d SINKER NAILS]

ALL HOLDOWNS SHALL BE ATTACHED TO DOUBLE FULL HEIGHT STUD (MIN.)

VERIFY ALL FOUNDATION DIMENSIONS WITH ARCHITECTURAL DRAWINGS

Gilbert Structural LLC 2036 North Gilbert Road Suite 2-428 Mesa, Arizona 85203 Office 480-398-8144 Fax 480-398-8166



REVISIONS		
1 HOA	COORDINATION	1.19.20
2 RET	AINING WALL DETA	IL 5.1.20
3 OWN	NER CHANGES	11.19.20
4 .		
5 .		

PROJECT NUMBER:

SHEET NUMBER:

FOUNDATION LAYOUT

8.16.2022



WOOD TRUSS NOTE:

PREFABRICATED WOOD TRUSSES TO BE PROVIDED BY AN APPROVED FABRICATOR. TRUSS DIAGRAMS AND LAYOUT SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE JOB SITE AT THE TIME OF FRAMING INSPECTION.

POVINELLI RESIDENCE

LEGEND:

BEARING WALL

2-2x POST (U.N.O.)

	ŀ	HANGER SCHEDULE
	\bigcirc	LUS26
	(2)	THASR/L29
	3	LTHJ
	4	HUS26
	(5)	HGUS26-2
	6	LUS210
	7	HUC28-2
•		

BEAM SCHEDULE
1 (2) 2x6 DFL #2 OR
2 (2) 2x8 DFL #2 OR
3 (2) 2x10 DFL #2 OR
4 (2) 2x12 DFL #2 OR
5 (1) 3½" x 9" GLB
6 (1) 3½" x 10½" GLB
7 (1) 3½" x 12" GLB
8 (1) 5½" x 12" GLB
9 (1) 5½" x 15" GLB

TDUCC COUEDINE

TRUSS SCHEDULE

1 TAPERED TOP CHORD FLAT ROOF TRUSSES AT 24" O.C
2 TAPERED TOP CHORD FLAT ROOF GIRDER TRUSS

3 BOX GIRDER TRUSS
4 2x12 DF#2 RAFTERS AT 24" O.C.

FRAMING NOTES

- REFER TO STRUCTURAL NOTES PAGE FOR MATERIAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS NOT LISTED BELOW.
 ALL FRAMING AND ANCHORING SHALL COMPLY WITH THE LATEST ADOPTED
- VERSION OF THE BUILDING CODE.

 6. EXTERIOR WALLS TO BE 2x STUDS AT 16" O.C., TYPICAL, U.N.O.
- 4. INTERIOR BEARING WALLS TO BE 2x STUDS AT 16" O.C., U.N.O.
 5. INTERIOR PARTITION WALLS TO BE 2x STUDS AT 24" O.C., TYPICAL U.N.O.
- 6. ALL POSTS TO BE 2-2x THE WALL THICKNESS, U.N.O.
 7. SINGLE TRIMMER IS TO BE PROVIDED UNDER THE ENDS OF ALL BEAMS AND
- HEADERS, U.N.O.

 8. ALL JOISTS SHALL BEAR A MINIMUM OF 2" ON ALL BEAMS OR WALL PLATES.

 9. PROVIDE H2.5T TIE AT EACH TRUSS ALONG INTERIOR BEARING WALLS.
- 9. PROVIDE HZ.51 HE AT EACH TROSS ALONG INTERIOR BEARING WALLS.

 10. METAL CONNECTORS, HANGERS AND TIES TO BE "SIMPSON STRONG—TIE" OR APPROVED EQUAL.
- ALL ROOF TRUSSES SHALL BE AT 24" O.C. U.N.O.
 ALL TRUSSES AND STRUCTURAL MEMBERS SHALL BE BRACED, BLOCKED AND SUPPORTED AT ALL TIMES DURING CONSTRUCTION.
 TRUSS MANUFACTURER TO COORDINATE WITH MECHANICAL AND
- ARCHITECTURAL DRAWINGS FOR EXACT WEIGHT AND LOCATION OF MECHANICAL EQUIPMENT.

 14. SEE MECHANICAL AND ARCHITECTURAL PLANS FOR LOCATIONS OF SOFFITS AND LOWERED SOFFITS.
- AND LOWERED SOFFITS.

 15. PROVIDE BLOCK-OUTS IN ROOF FOR FIREPLACE FLUES, PLUMBING, ETC. VERIFY LOCATIONS OF FIREPLACE FLUES PRIOR TO CONSTRUCTION.
- 16. PROVIDE CROSS BLOCKING AND 1/2" PLYWOOD BACKING AT ALL CEILING FAN LOCATIONS.17. REFER TO ARCHITECTURAL FLOOR AND/OR ROOF PLANS FOR ATTIC ACCESS
- REFER TO ARCHITECTURAL FLOOR AND/OR ROOF PLANS FOR ATTIC ACCESS LOCATIONS AND CODE REQUIREMENTS.
 PROVIDE 2x BLOCKING AT ALL HIPS AND RIDGES FOR PANEL EDGE NAILING REFER TO ENGINEERING SPECIFICATIONS.
- PROVIDE SIMP. STCT CLIP AT ALL TRUSSES TO EXTERIOR NON-BEARING WALLS.
 SIMPSON H2.5T OR RSP4 NOT REQUIRED AT TOP OR BOTTOM PLATE CONNECTIONS IF OSB IS INSTALLED AT THAT LOCATION.

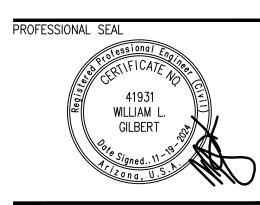
• TWO PLY GIRDER TRUSS - USE 2-2x (WALL THICKNESS) U.N.O.

• THREE PLY GIRDER TRUSS - USE 3-2x (WALL THICKNESS) U.N.O.

21. 16-GAUGE 1¾" LONG (½" CROWN) STAPLES MAY BE USED IN LIEU OF 8d NAILS FOR ROOF SHEATHING CONNECTIONS. SAME SPACING APPLIES TO BOTH 8d NAILS AND 16-GAUGE STAPLES.
22. GIRDER TRUSS POST REQUIREMENTS:

SINGLE PLY GIRDER TRUSS – USE 1-2x (WALL THICKNESS) U.N.O.

Gilbert Structural LLC
2036 North Gilbert Road
Suite 2-428
Mesa, Arizona 85203
Office 480-398-8144
Fax 480-398-8166



REVISIONS

1 HOA COORDINATION 1.19.2023

2 RETAINING WALL DETAIL 5.1.2024

3 OWNER CHANGES 11.19.2024

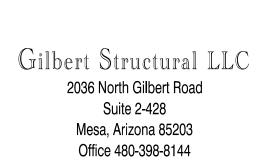
PROJECT NUMBER: –

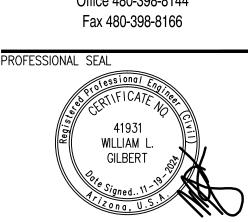
DATE: 8.16.2022

SHEET NUMBER:

FRAMING LAYOUT

S2.0





REVISIONS

1 HOA COORDINATION
1.19.2023

2 RETAINING WALL DETAIL
3 OWNER CHANGES
11.19.2024

8.16.2022

PROJECT NUMBER:

PROJECT NUMBER:

CUEET TITLE

SHEET NUMBER:

SHEARWALL LAYOUT

S3.0



SCALE: 3/16" = 1'-0"

SHEATHING NOTE:
ALL EXTERIOR WALLS TO BE SHEATHED WITH P1 FROM SHEATHING SCHEDULE UNLESS NOTED OTHERWISE.

	SHEATHING SCHEDULE
MARK	DESCRIPTION
P1	光6" PLYWOOD/OSB w/8d AT 6" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): ½" X 10" ANCHOR BOLTS AT 32" O.C. (INTERIOR): ½"ø SIMP. STRONG—BOLT 2 A.B. AT 32" O.C. (EMBED 2¾" MIN. ESR—3037)
P2	%6" PLYWOOD/OSB w/8d AT 4" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): ½" X 10" ANCHOR BOLTS AT 24" O.C. (INTERIOR): ½"ø SIMP. STRONG—BOLT 2 A.B. AT 24" O.C. (EMBED 2¾" MIN. ESR—3037)
P3 *	が6" PLYWOOD/OSB w/8d AT 3" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): ½" X 10" ANCHOR BOLTS AT 16" O.C. (INTERIOR): ½"ø SIMP. STRONG—BOLT 2 A.B. AT 16" O.C. (EMBED 2¾" MIN. ESR—3037)
P4 *	¾6" PLYWOOD/OSB w/8d AT 2" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): ½" X 10" ANCHOR BOLTS AT 12" O.C. (INTERIOR): ½" SIMP. STRONG—BOLT 2 A.B. AT 12" O.C. (EMBED 2¾" MIN. ESR—3037)

ALL SHEARWALLS TO HAVE DOUBLE TOP PLATES AND 2x STUDS AT 16" O.C. — U.N.O.

* FRAMING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR WIDER, AND NAILS SHALL BE STAGGERED WHERE NAILS ARE SPACED LESS THAN 3" O.C.

*** USE CARBON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED. (ESR-3037)

*** AS AN ALTERNATE TO WET-SET ANCHOR BOLTS AND STRONG-BOLT 2 ANCHORS, SIMPSON TITEN-HD ANCHOR BOLTS MAY BE USED PROVIDED THE SAME SPACING IS ADHERED TO AS STATED IN THE SCHEDULE ABOVE. THE ANCHORS SHALL BE ½"ø x 5" WITH A MINIMUM EMBEDMENT OF 3½" (ESR-2713).

***** AS AN ALTERNATE TO 5d COOLER NAILS, #6 1½" TYPE 'W' DRYWALL SCREWS MAY BE USED. AS AN ALTERNATE TO 6d COOLER NAILS, #6 15%" TYPE 'W' DRYWALL SCREWS MAY BE USED. SAME SPACING APPLIES PER SCHEDULE.

HOLDOWN SCHEDULE		
MARK	TYPE	DESCRIPTION
В	STHD10	USE STHD10 [WITH (28) 16d SINKER NAILS]
С	HTT-5	USE HTT5 [WITH (26) 10d SINKER NAILS] 5%" Ø STRONG-BOLT 2 WITH 5-1/8" EMBE (ESR #3037)
D	STHD14	USE STHD14 [WITH (38) 16d SINKER NAILS]

NOTES: ALL HOLDOWNS SHALL BE ATTACHED TO DOUBLE FULL HEIGHT STUD (MIN.)

"INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

* USE CARBON STEEL FOR STRONG—BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED (ESR—3037)

** SEE DETAIL 12/SD1 FOR RETROFIT HOLDOWN APPLICATION

*** #4 REBAR REQUIRED FOR HOLDOWNS INSTALLED AT RAISED CURB LOCATIONS ONLY.

