

PATTERSON HOMES AZ, LLC

POVINELLI RESIDENCE

9805 TALON TRAIL
FOUNTAIN HILLS, ARIZONA 85268

PROJECT DESCRIPTION:
CONSTRUCT NEW CUSTOM SINGLE FAMILY RESIDENCE.

ENERGY CODE:
NEW AND REMODELED BUILDING AREAS SHALL COMPLY WITH THE FOLLOWING FENESTRATION = 0.40 MAXIMUM U-FACTOR, 0.25 MAXIMUM SHGC, MINIMUM R-13 AT FRAME WALLS AND FLOORS, R-6 AT MASS WALLS OR R-13 IF LOCATED ON INTERIOR SIDE, R-38 AT CEILINGS. DUCT INSULATION LOCATED OUTSIDE THE BUILDING AREA REQUIRES MINIMUM R-8 AND R-6 WHEN LOCATED IN FLOOR JOIST (IF APPLICABLE). MINIMIZE AIR LEAKAGE PER IECC 402.4

ATTENTION !
GILBERT STRUCTURAL, LLC WILL NOT BE HELD RESPONSIBLE FOR LAYOUT OR BUILDING ERRORS DUE TO THE USE OF THESE DRAWINGS. THE OWNERS MUST VERIFY ALL DIMENSIONS AND LAYOUTS PRIOR TO CONSTRUCTION.

DRAINAGE NOTE:
A COMMON CAUSE OF SOIL PROBLEMS IN THIS VICINITY OF A CONCRETE FOUNDATION IS MOISTURE INCREASE IN SOILS BELOW STRUCTURES. THEREFORE, IT IS EXTREMELY IMPORTANT THAT POSITIVE DRAINAGE BE PROVIDED DURING CONSTRUCTION AND MAINTAINED THROUGHOUT THE LIFE OF THE STRUCTURE. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION. IT IS ALSO IMPORTANT THAT PROPER PLANNING AND CONTROL OF ANY LANDSCAPE AND IRRIGATION PRACTICES BE PERFORMED. BACKFILL AGAINST FOOTINGS, EXTERIOR WALLS, AND IN UTILITY AND SPRINKLER LINE TRENCHES SHOULD BE WELL COMPACTED AND FREE OF CONSTRUCTION DEBRIS TO MINIMIZE THE POSSIBILITY OF MOISTURE INFILTRATION.

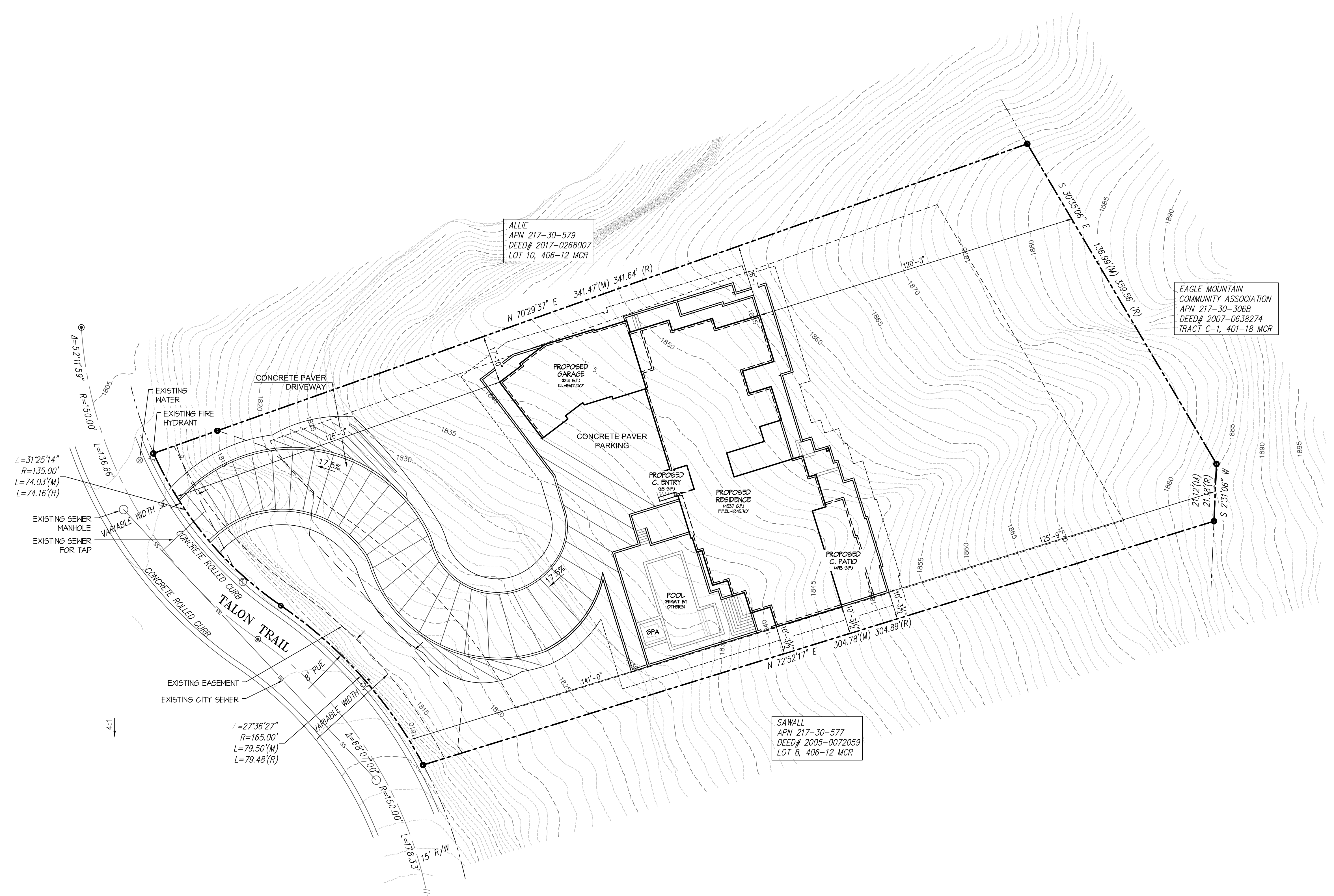
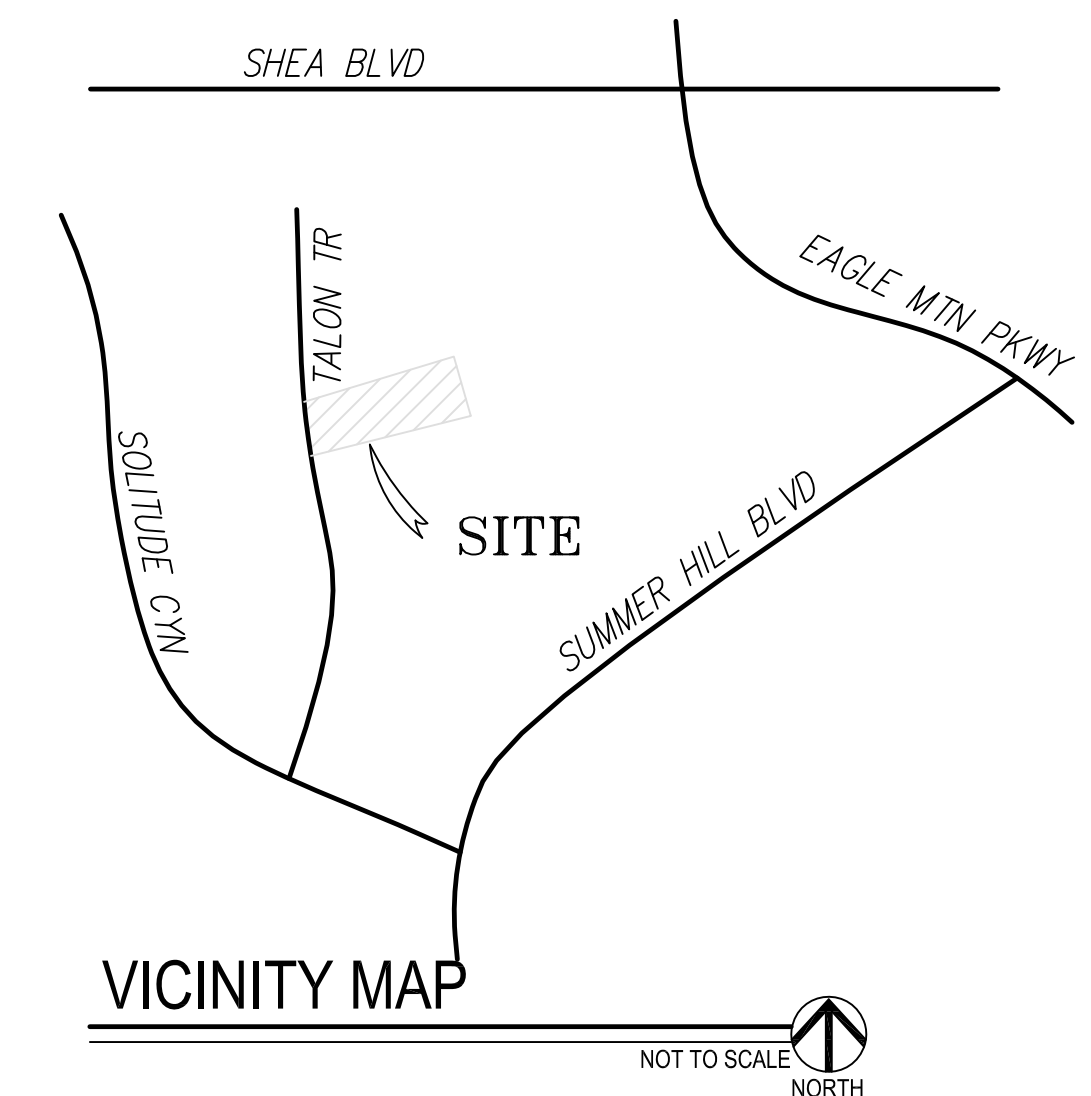
IN AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN THE STRUCTURE, PROTECTIVE SLOPES SHOULD BE PROVIDED WITH AN OUTFALL OF 5 PERCENT FOR AT LEAST 10 FEET FROM PERIMETER WALLS OR OTHER APPROVED DRAINAGE SCUPPERS AND DRAIN PIPES SHOULD BE DESIGNED TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURES FOR A MINIMUM OF 5 FEET. IF PLANTERS AND/OR LANDSCAPING ARE ADJACENT TO OR NEAR THE STRUCTURES, WE RECOMMEND THE FOLLOWING:

- GRADES SHOULD SLOPE AWAY FROM THE STRUCTURES.
- PLANTERS SHOULD SLOPE AWAY FROM THE STRUCTURES AND SHOULD NOT POND WATER. DRAINS SHOULD BE INSTALLED IN ENCLOSED PLANTER TO FACILITATE FLOW OUT OF THE PLANTERS.
- ONLY SHALLOW ROOTED LANDSCAPING SHOULD BE USED.
- WATERING SHOULD BE KEPT TO A MINIMUM. IRRIGATION SYSTEMS SHOULD BE SITUATED ON THE FAR SIDE OF ANY PLANTING AND AWAY FROM THE STRUCTURES TO REDUCE INFILTRATION BENEATH FOUNDATIONS FROM POSSIBLE LEAKS.
- TRESS SHOULD BE PLANTED NO CLOSER THAN A DISTANCE EQUAL TO ONE-HALF THEIR MATURE HEIGHT OR TEN FEET, WHICHEVER IS GREATER.
- MAINTAIN EXISTING GRADING AND DRAINAGE ROUTES ON SITE.
- FINISH FLOOR ELEVATIONS ARE GRANDFATHERED IN TO MATCH THE EXISTING LEGALLY ESTABLISHED FINISH FLOOR ELEVATION OF THE DWELLING UNIT.
- THE FLOOR IN THIS SPACE IS EXISTING. THE OWNER HAS CHOSEN TO CONVERT THE NON-LIVABLE SPACE TO LIVABLE SPACE AND AFFIRMS THE FINISH FLOOR ELEVATION IS ADEQUATE.
- THE PERMITTED STRUCTURE SHALL NOT AFFECT THE DRAINAGE TO NEIGHBORING LOTS.

IT SHOULD BE UNDERSTOOD THAT THESE RECOMMENDATIONS WILL HELP MINIMIZE THE POTENTIAL FOR SOIL MOVEMENT AND RESULTING DISTRESS, BUT WILL NOT ELIMINATE THIS POTENTIAL.

FINISHED FLOOR CERTIFICATION:
THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

SITE, SURVEY AND G&D NOTES
SURVEY AND GRADING AND DRAINAGE BY OTHERS. REFER TO SEPARATE SURVEY BY ARIZONA SURVEYORS, PROJECT NUMBER 9805 TALON TR, DATED APRIL 12, 2021.



ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"
NORTH

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION							
COMMUNITY NUMBER	COMMUNITY MAP NUMBER	PANEL NUMBER	PANEL DATE	SUFFIX	FIRM INDEX DATE	FIRM ZONE	BASE FLOOD ELEVATION (A0 ZONE, USE DEPTH)
040135	04013C	1785	10-16-2013	L	1-15-2021	D	N/A

KEYNOTES	
SITE INFORMATION	
LOT 9 AT EAGLE MOUNTAIN PARCEL 5	
OWNER:	KEVIN AND SHARON POVINELLI 4834 EAST SANDY VISTA DRIVE SCOTTSDALE, AZ 85262
BUILDER:	PATTERSON HOMES AZ, LLC 16424 N 91ST ST SCOTTSDALE, AZ 85260
DESIGNER:	GILBERT STRUCTURAL, LLC WILLIAM GILBERT 2003 EAST 5TH STREET #1 TAMPE, AZ 85281 602-821-2339 BILL@GILBERTSTRUCTURAL.COM
PARCEL NUMBER:	217-30-576
LOT AREA:	46,345 SQ. FT.
GC:	-
S/T/R:	2# 3# 6#
ZONE:	RI-10A
MCR:	406-12
LEGAL DESCRIPTION: LOT 9, EAGLE MOUNTAIN PARCEL 5, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 406 OF MAPS, PAGE 12.	
NEW BUILDING AREAS:	
MAIN HOUSE	= 4,537 SQ. FT.
NEW GARAGE	= 1,214 SQ. FT.
NEW PATIO	= 443 SQ. FT.
NEW PORCH	= 65 SQ. FT.
TOTAL NEW	= 6,304 SQ. FT.

SHEET INDEX	
SHEET	SHEET NAME
A0.0	COVER SHEET / ARCH SITE PLAN
A1.0	FLOOR PLAN
A2.0	DIMENSIONED FLOOR PLAN
A3.0	ROOF PLAN
A4.0	BUILDING ELEVATIONS
A4.1	BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
M1.1	MECHANICAL PLAN
M2.1	MECHANICAL NOTES & CALCUS
P1.0	PLUMBING WASTE ISOMETRIC
E1.0	ELECTRICAL DETAILS
E1.1	ELECTRICAL LAYOUT PLAN
GSN	GENERAL STRUCTURAL NOTES
S1.0	STRUCTURAL FOUNDATION PLAN
S2.0	STRUCTURAL FRAMING PLAN
S3.0	STRUCTURAL SHEARWALL PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
BOUNDARY AND TOPOGRAPHIC SURVEY	
GRADING AND DRAINAGE PLAN 1 OF 5	
GRADING AND DRAINAGE PLAN 2 OF 5	
GRADING AND DRAINAGE PLAN 3 OF 5	
GRADING AND DRAINAGE PLAN 4 OF 5	
GRADING AND DRAINAGE PLAN 5 OF 5	
NP11 - NATIVE PLANT SURVEY	
L11 - LANDSCAPE PLAN	

FIRE SPRINKLERS
FIRE SPRINKLERS ARE REQUIRED

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PROFESSIONAL SEAL

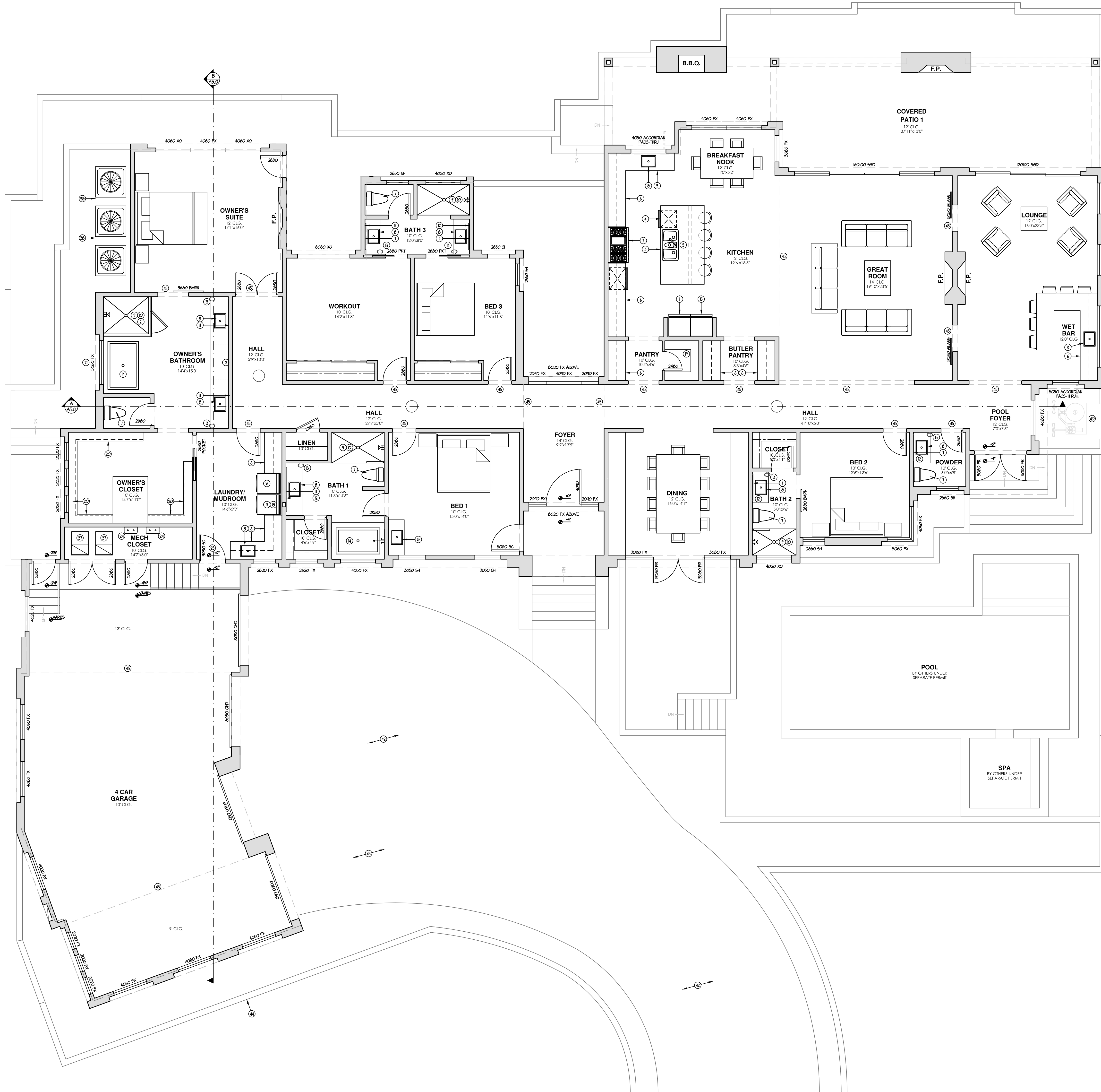
REVISIONS		
1	CITY COMMENTS	10.6.2022
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PROJECT NUMBER: _____
DATE: 8.16.2022

SHEET TITLE:
COVER SHEET AND SITE PLAN

SHEET NUMBER:
A0.0

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FLOOR PLAN

SCALE: 3/16" = 1'-0" NORTH

- GENERAL INFORMATION**
- ALL EXTERIOR DOORS AND WINDOWS TO BE STANDARD HEIGHT W/ STANDARD FRAMED OPENINGS UNDO ON PLAN
 - WALL FRAMING - UNDO ON PLAN
EXTERIOR WALLS - 2x4 AT 16" O.C. UNDO ON PLAN
INTERIOR BRG. WALLS - 2x4 AT 16" O.C. UNDO ON PLAN
INTERIOR NON-BRG. - 2x4 AT 24" O.C. UNDO ON PLAN
ALL SHEARWALLS ARE TO BE CONSTRUCTED WITH 2x STUDS SPACED AT 16" O.C.
 - PROVIDE ADDITIONAL DRYWALL FOR DIMENSION DEVIATION WHEN SHEAR WALL IS INSTALLED.
 - INSULATION
R-38 BLOWN IN ATTIC - UNDO ON PLAN
R-5 BATT AT EXT. 2x4 WALLS - UNDO ON PLAN
R-8 BATT AT EXT. 2x4 WALLS - UNDO ON PLAN
 - PROVIDE R-5 BATT, 0.4 WALL OR R-8 BATT 0.4 WALL INSULATION BETWEEN GARAGE AND ALL LIVABLE SPACES.
 - FOR GAS APPLIANCES AND FIXTURES PROVIDE COMBUSTION AIR AND VENTILATION AIR PER I.R.C. SECTION G2407 AND MANUFACTURERS RECOMMENDED CLEARANCES.
 - PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON WALLS AND CEILING IN GARAGE AND ON LEASABLE SPACE UNDER STAIRS PER CITY REQUIREMENTS.
 - PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO AND PORCH CEILING - TAPE AND TEXTURE PER PROJECT SPEC'S.
 - MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM EGRESS WINDOWS - I.R.C. SECTION R301.
 - WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 5/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" GAG RESISTANT GYP. BOARD SHALL BE USED - ESR #338
 - PENETRATIONS THRU SEPARATION WALLS SHALL BE PROTECTED BY FLASHING OPENING AROUND PENETRATING ITEM WITH APPROVED FIRECALLK - I.R.C. SECTION R302.4
 - WALL BRACING TO COMPLY WITH I.R.C. SECTION R602.01 AND TABLE R602.03 UNLESS BRACED WALL SYSTEM SHOWN.
 - DOUBLE ALL BEARING WALLS STUDS PENETRATED BY PLUMBING WASTE AND/OR VENT LINES - TYPICAL.

KEYNOTES

No.	DESCRIPTION
1	REFRIGERATOR RIGHT - PRE-PLUMB FOR WATER TAP
2	RANGE AND OVEN WITH HOOD ABOVE - HOOD EXHAUST AT 7'-7"
3	DOUBLE SINK WITH DISPOSAL
4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. SEC. P207
5	ISLAND COUNTERTOP WITH 36" DEEP BASE CABINETS WITH 12" OVERHANGS
6	BASE AND UPPER CABINETS
7	WATER CLOSET PROVIDE A MIN. 6" ON EACH SIDE AND 24" MIN. CLEAR IN FRONT - I.R.C. SEC. R307
8	SINK
9	SHOWER FLOOR DRAIN
10	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER WITH TILE, MARBLE OR EQ. TO 1/2" ABOVE CURB OR DRAIN OF SHOWER - I.R.C. SEC. R302.4
11	42" HIGH MIRROR IN MASTER BATHROOM AND ALL SECONDARY BATHROOMS - UNDO ON PLAN
12	2x6 PLUMBING WALL
13	TOWEL BAR AT +54" OR TOWEL RING AT +54"
14	FREE-STANDING TUB PER OWNER
15	FREEZER LEFT - PRE-PLUMB FOR ICE MAKER
16	WASHER - WASHER ALWAYS LEFT OF DRYER
17	DRYER
18	40" DRYER VENT THROUGH ROOF - NOT TO EXCEED 6" PER I.R.C. SEC. G2405.5, G2405.6 AND G2405.4. PROVIDE LABELS WITHIN 6' STATING SIZE AND DEV. LENGTH
19	5" SHELVES EQUALLY SPACED - 18" DEEP UNLESS OTHERWISE SHOWN / NOTED ON PLAN
20	1 ROD, 1 SHELF
21	TEMPERED GLASS
22	ELECTRIC PREPLACE PER OWNER
23	TILE FINISH AROUND PREPLACE PER OWNER
24	ELECTRIC TANKLESS WATER HEATER PER OWNER WITH T & P RELIEF VALVE AT +6" ABOVE FINISH GRADE
25	MINIMUM OF 1 3/8" SOLID CORE WITH SELF CLOSER, SELF LATCHING, AND TIGHT FITTING GASKETS AND SWEEP PER I.R.C. SEC. R302.5
26	4" TIRE STOP
27	5/8" TYPE 'X' GYPSUM BOARD OVER WALLS AND CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 102.3.5
28	14"x8" SCREENED LOWERED METAL AIR VENTS - ONE +12" A.F.F. AND ONE 12" BELOW CEILING
29	22x30 ATTIC SCUTTLE - PROVIDE TYPE 'X' GYP. BD. AT GARAGE SIDE AND WEATHERSTRIPPING - I.R.C. SEC. R307
30	MIN. 5" THICK CONC. STOOOP OR PAVERS AT OPENING
31	MISCELLANEOUS APPLIANCES PER OWNER
32	LINE OF CEILING CHANGE
33	+42" BAR TOP
34	SOLAR TUBE FOR NATURAL LIGHTING
35	P.R.V. TO OUTSIDE MIN. 6" ABOVE GRADE
36	HOSE BIB
37	AIR HANDLER - SEE ELECTRICAL SHEET E10
38	AIR CONDENSOR - SEE ELECTRICAL SHEET E10
39	ELECTRIC SERVICE PANEL - SEE ELECTRICAL
40	POOL EQUIPMENT BY OTHERS
41	POOL EQUIPMENT ACCESS GATE
42	PAVER: ACKER STONE-AVAND GRANDE PATTERN: RANDOM ASHLER COLOR: BISSLET BLIND
43	GUEST PARKING AREA
44	MASONRY SCREEN WALL, FINISH PER SPECIFICATIONS.
45	LINE OF CEILING CHANGE

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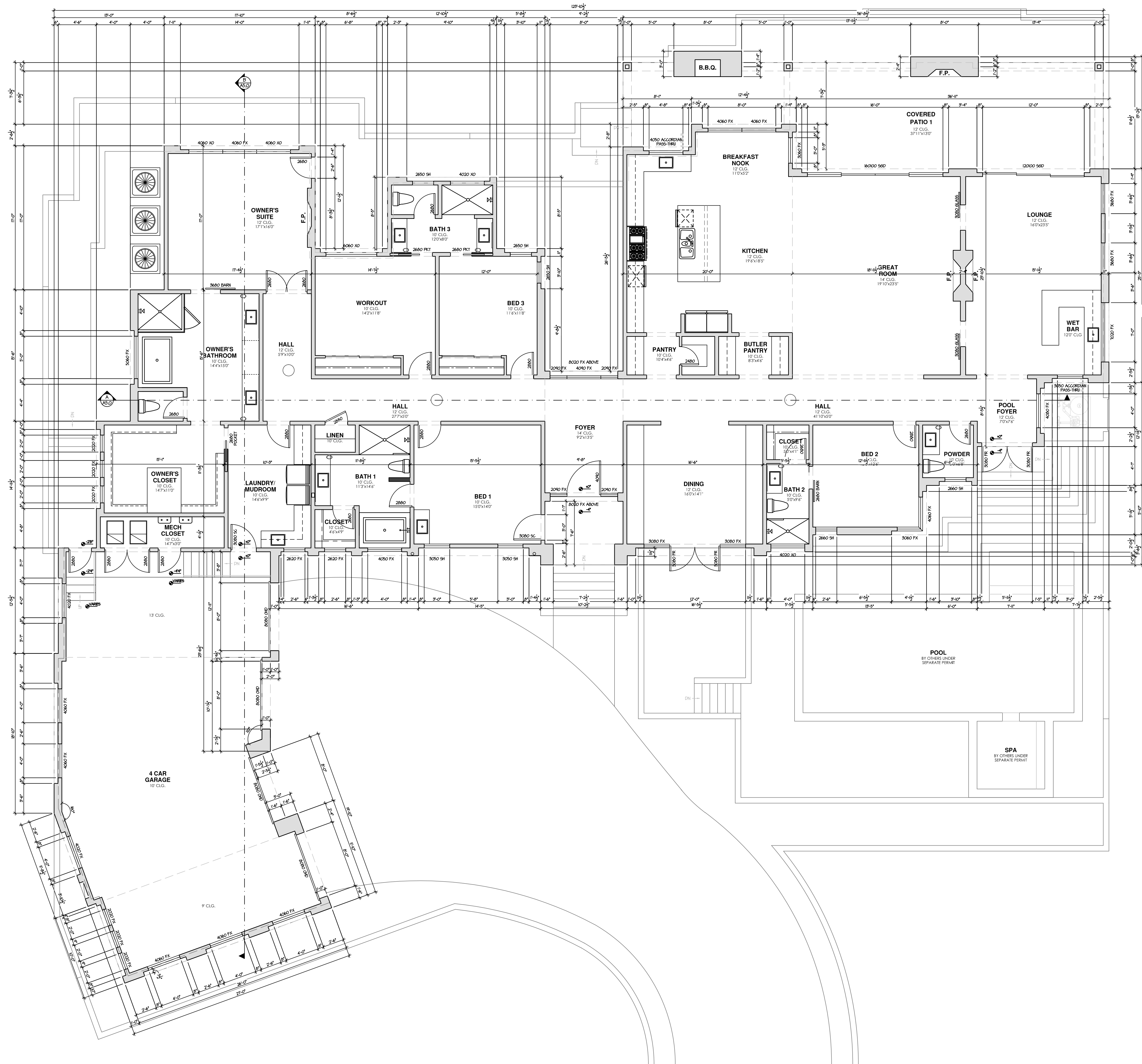
PROFESSIONAL SEAL

REVISIONS

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PROJECT NUMBER:
 DATE: 8.16.2022

SHEET TITLE:
FLOOR PLAN
 SHEET NUMBER:
A1.0



- GENERAL PLAN NOTES**
1. ALL EXTERIOR DOORS AND WINDOWS TO BE STANDARD HEIGHT W/ STANDARD FRAMED OPENINGS UNDO ON PLAN
 2. WALL FRAMING - UNDO ON PLAN
EXTERIOR WALLS - 2x4 @ 16" O.C. UNDO ON PLAN
INTERIOR BRG. WALLS - 2x4 @ 16" O.C. UNDO ON PLAN
INTERIOR NON-BRG. WALLS - 2x4 @ 24" O.C. UNDO ON PLAN
ALL SHEARWALLS ARE TO BE CONSTRUCTED WITH 2x STUDS SPACED AT 16" O.C.
 3. PROVIDE ADDITIONAL DRYWALL FOR DIMENSION DEVIATION WHEN SHEAR WALL IS INSTALLED.
 4. INSULATION
R-38 BLOWN-IN AT ATTIC - UNDO ON PLAN
R-13 BATT @ EXT. 2x4 WALLS - UNDO ON PLAN
R-13 BATT @ EXT. 2x4 WALLS - UNDO ON PLAN
 5. PROVIDE R-13 BATT @ 2x4 WALLS OR R-13 BATT @ 2x4 WALLS INSULATION BETWEEN GARAGE AND ALL LIVABLE SPACES.
 6. FOR GAS APPLIANCES AND FIXTURES PROVIDE COMBUSTION AIR AND VENTILATION AIR PER I.R.C. SECTION 902.07 AND MANUFACTURERS' RECOMMENDED CLEARANCES.
 7. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON WALLS AND CEILING IN GARAGE AND ON LEASE SPACE UNDER STAIRS PER CITY REQUIREMENTS.
 8. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO AND PORCH CEILING - TAPE AND TEXTURE PER PROJECT SPEC.
 9. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM EXPOSED WINDOWS - I.R.C. SECTION R301.
 10. WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 5/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" 5x8 RESISTANT GYP. BOARD SHALL BE USED - ESR #938
 11. PENETRATIONS THRU SEPARATION WALLS SHALL BE PROTECTED BY FILING GROUND AROUND PENETRATING ITEM WITH APPROVED FIRECALLK - I.R.C. SECTION R302.4
 12. WALL BRACING TO COMPLY WITH I.R.C. SECTION R602.01 AND TABLE R602.03 UNLESS BRACED WALL SYSTEM SHOWN.
 13. DOUBLE ALL BEARING WALLS STUDS PENETRATED BY PLUMBING WASTE AND/OR VENT LINES - TYPICAL.
 14. A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 18" INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOSET THAN 30" INCHES CENTER TO CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE A CLEARANCE OF NOT LESS THAN 21" INCHES IN FRONT OF THE WATER CLOSET, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR PER FCOS WATER CLOSETS, LAVATORIES AND BIDETS.
- = SEE DOOR SCHEDULE ON SHEET A10 FOR CONCERNING DOOR INFORMATION

DIMENSIONED FLOOR PLAN
SCALE: 3/16" = 1'-0" NORTH

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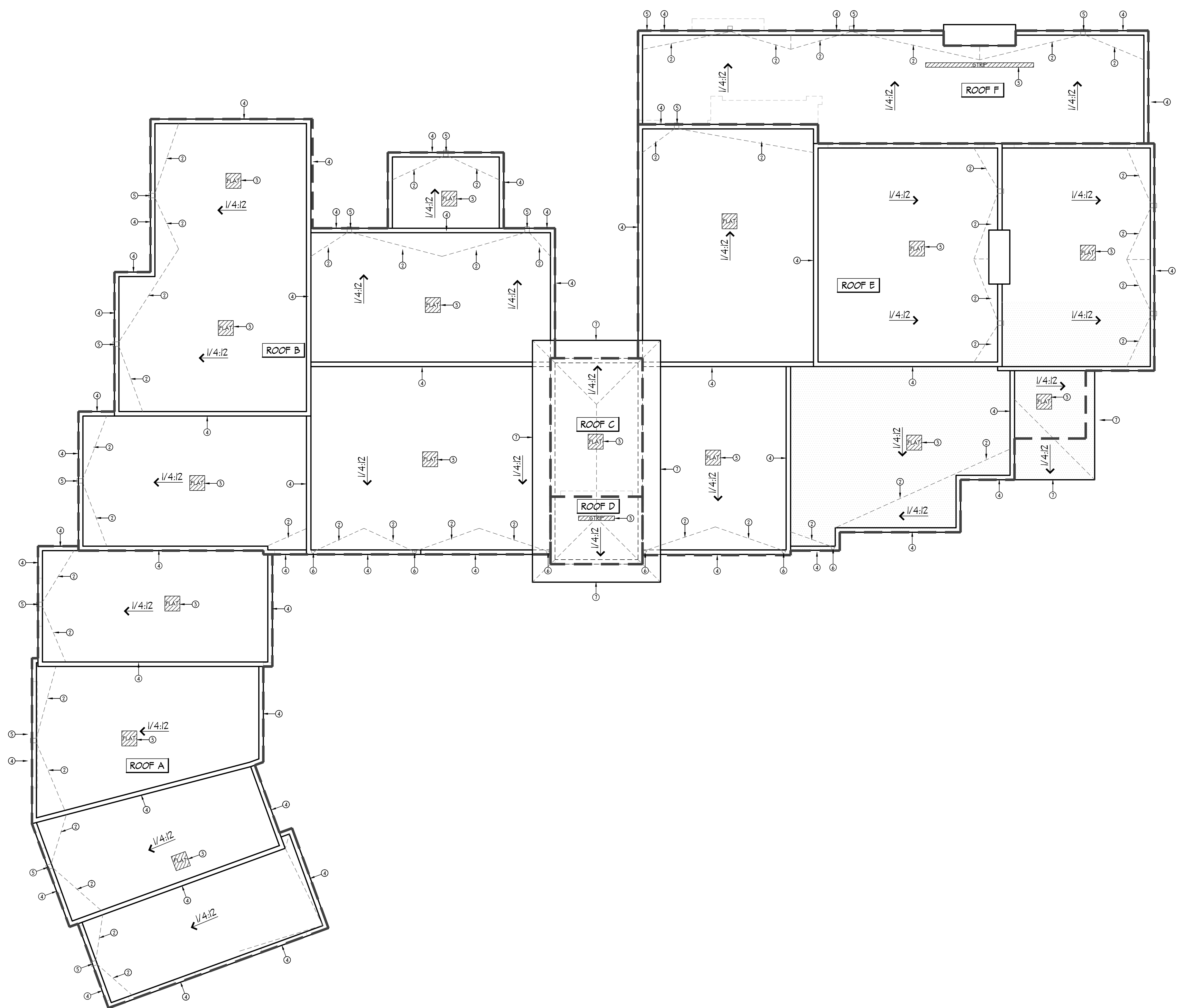
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PROJECT NUMBER:
DATE: 8.16.2022

SHEET TITLE:
DIMENSIONED FLOOR PLAN
SHEET NUMBER:
A2.0

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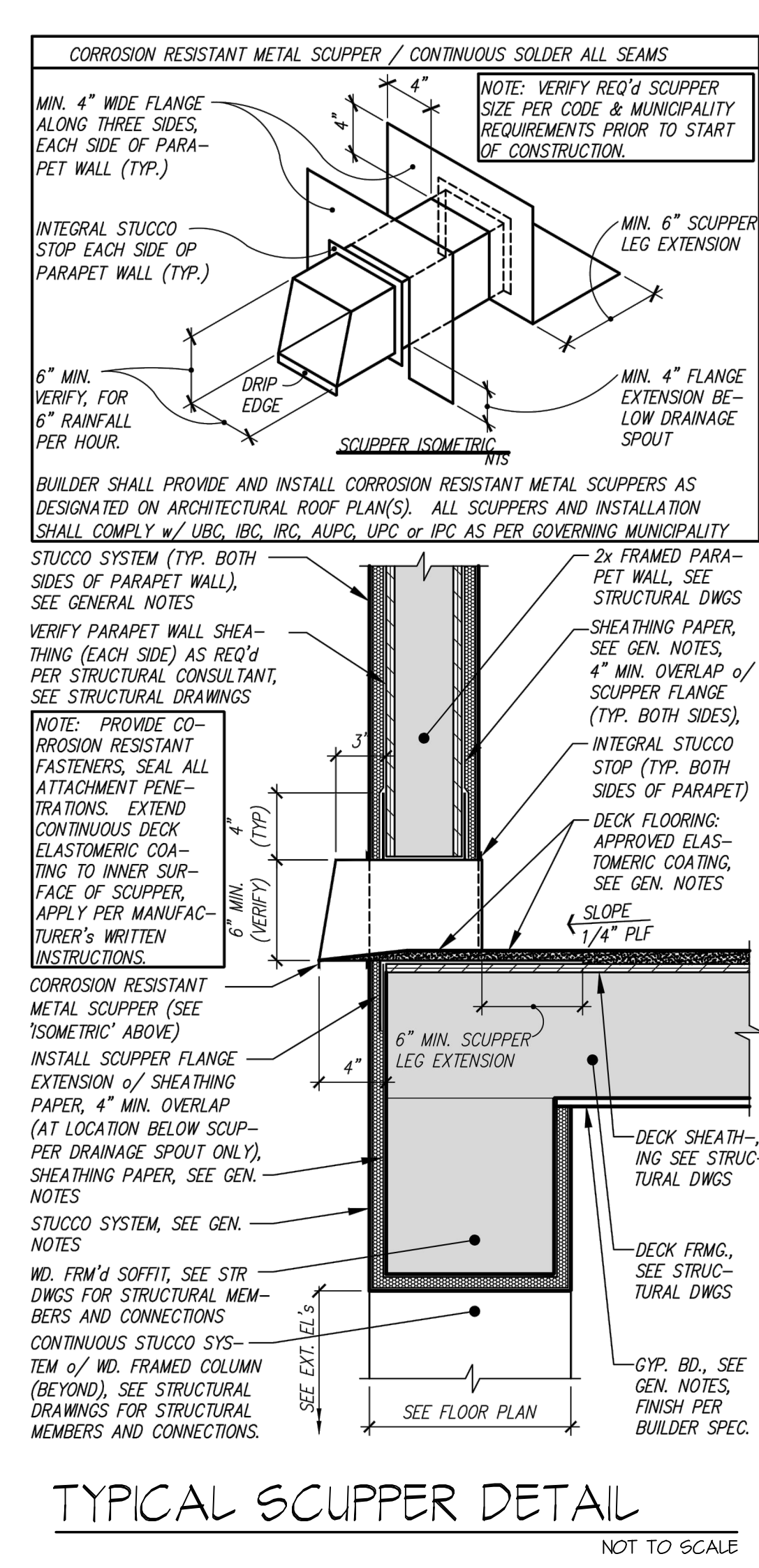
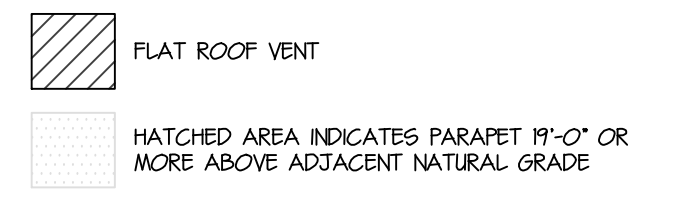


GENERAL INFORMATION	
1.	WHERE EAVE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
2.	PROVIDE FIRE BLOCKING AT ALL CEILING LINES AND AT ALL BALCONY FRAMED WALLS OVER 12'-0" - UNO.

SOLAR READY ZONE (UIC3)	
1.	A SOLAR-READY ZONE OF NOT LESS THAN 300 SQUARE FEET IS REQUIRED ON THE ROOF EXCLUSIVE OF MANDATORY ACCESS AND SET BACK AREAS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. THE ZONE SHALL BE FREE FROM OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND ROOF-MOUNTED EQUIPMENT.

KEYNOTES	
No.	DESCRIPTION
1	22" x 30" ATTIC SCUTTLE
2	1/2" PLYWOOD CRICKET - SLOPE PER PLAN
3	FULL SCREENED VENTS - SEE ATTIC VENT CALC'S
4	PARAPET WALL
5	METAL SCUPPER
6	ROOF DRAINS WITH HIDDEN DOWNSPOUTS
7	FRAMED EAVE

ATTIC VENTILATION CALCULATION	
FLAT ROOF AREA A: 1228 S.F. / 150'	TOTAL REQD. 831 S.F.
MIN. @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. = 831 S.F.	
TOTAL SUPPLIED AT ROOF A = 831 S.F.	
FLAT ROOF AREA B: 285 S.F. / 150'	TOTAL REQD. 142 S.F.
MIN. @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. = 167.4 S.F.	
TOTAL SUPPLIED AT ROOF B = 167.4 S.F.	
FLAT ROOF AREA C: 158 S.F. / 150'	TOTAL REQD. 105 S.F.
MIN. @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. = 279 S.F.	
TOTAL SUPPLIED AT ROOF C = 279 S.F.	
FLAT ROOF AREA D: 77 S.F. / 150'	TOTAL REQD. 251 S.F.
PROVIDE 4" WIDE BY 24" LONG STRIP VENT AT PORCH CEILING	
FLAT ROOF AREA E: 2290 S.F. / 150'	TOTAL REQD. 827 S.F.
MIN. @ 20'x20' FLAT ROOF VENTS AT 2.79 S.F. = 167.4 S.F.	
TOTAL SUPPLIED AT ROOF E = 167.4 S.F.	
FLAT ROOF AREA F: 58 S.F. / 150'	TOTAL REQD. 341 S.F.
PROVIDE 4" WIDE BY 144" LONG STRIP VENT AT PATIO CEILING	



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REVISIONS

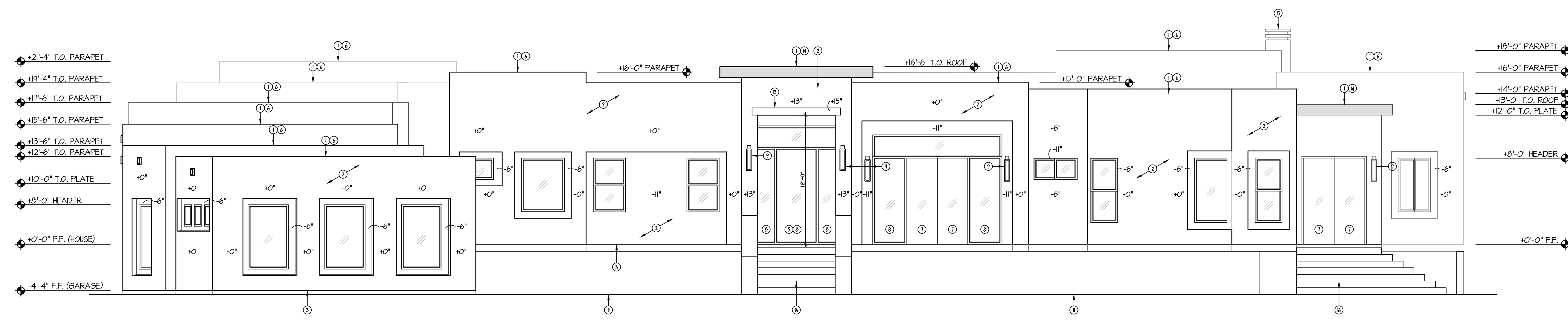
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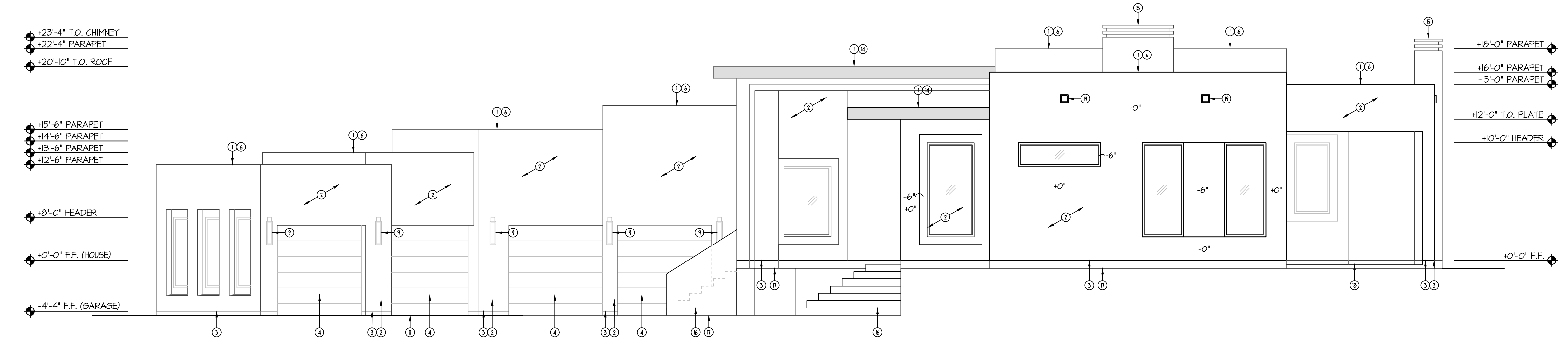
ROOF PLAN
 SCALE: 3/16" = 1'-0" NORTH

ROOF PLAN
 SHEET NUMBER:
A3.0



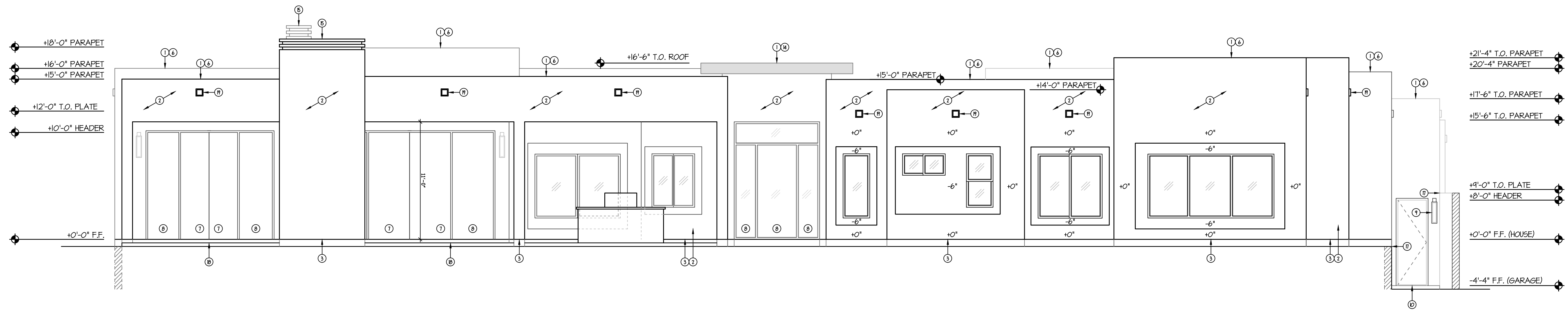
FRONT ELEVATION

SCALE: 3/16" = 1'-0"



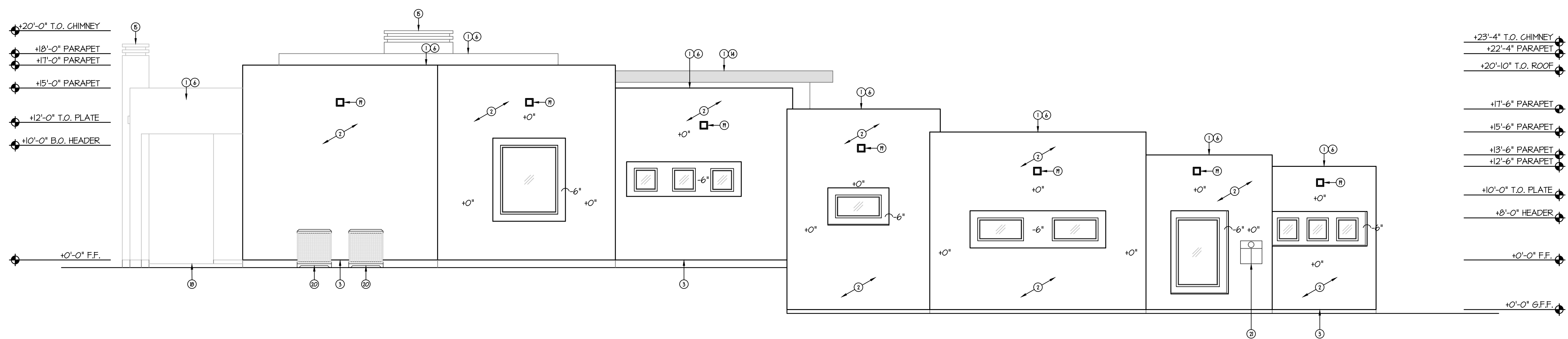
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-COTE STUCCO WALL FINISH (I.C.C. 558) +220 OVER RESISTIVE BARRIER OF TYPE IS ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER IBC SEC. 703.05. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - WEEP SCREED SHALL BE OF #26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" AND PLACED A MINIMUM OF 3/4" BELOW FINISHED FLOOR AND A MINIMUM 6" A.F.S. AT ALL EXTERIOR WALLS.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANELS, ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.
 - ALL FOAM POPOUT PROTECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH UNO.
 - STUCCO NOTES:
A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.
B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS.
- NOTE:
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER.

KEYNOTES

No.	DESCRIPTION
1	F FOAM ROOF WITH ELASTOMERIC TOP COAT AND #1 GRANULES.
2	SANKOTE STUCCO SYSTEM (E.G. #292) OVER FOAM BOARD (ON AS BOARD AT ATTIC AREAS).
3	WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEPS BELOW TO MATCH BUILDING.
4	GARAGE DOOR.
5	ENTRY DOOR.
6	PARAPET WALL.
7	SLIDING DOOR SYSTEM WITH TEMPERED GLASS.
8	WINDOW WITH TEMPERED GLASS.
9	EXTERIOR LIGHTING PER HOA GUIDELINES.
10	GARAGE SIDE / MAN DOOR.
11	DRIVENWAY PAVERS: ACKER STONE-AVAND GRANDE PATTERN RANDOM ASHIER COLOR: DESERT BLEND.
12	CONCRETE OR PAVER STOOP PER OWNER.
13	STUCCO POPOUT.
14	WOOD FASCIA - PAINT PER SPECIFICATIONS.
15	DECORATIVE METAL CHIMNEY CAP PER OWNER.
16	CONCRETE STAIRS.
17	TOP OF RETAINING WALL - SEE STRUCTURAL PLAN.
18	CONCRETE SLAB - SEE STRUCTURAL PLAN.
19	6" SQ. METAL SCUPPER - SEE ASD FOR TYP. DETAIL.
20	CONDENSING UNIT - SEE MECHANICAL PLAN.
21	ELECTRIC SERVICE PANEL SEE ELECTRICAL PLAN.

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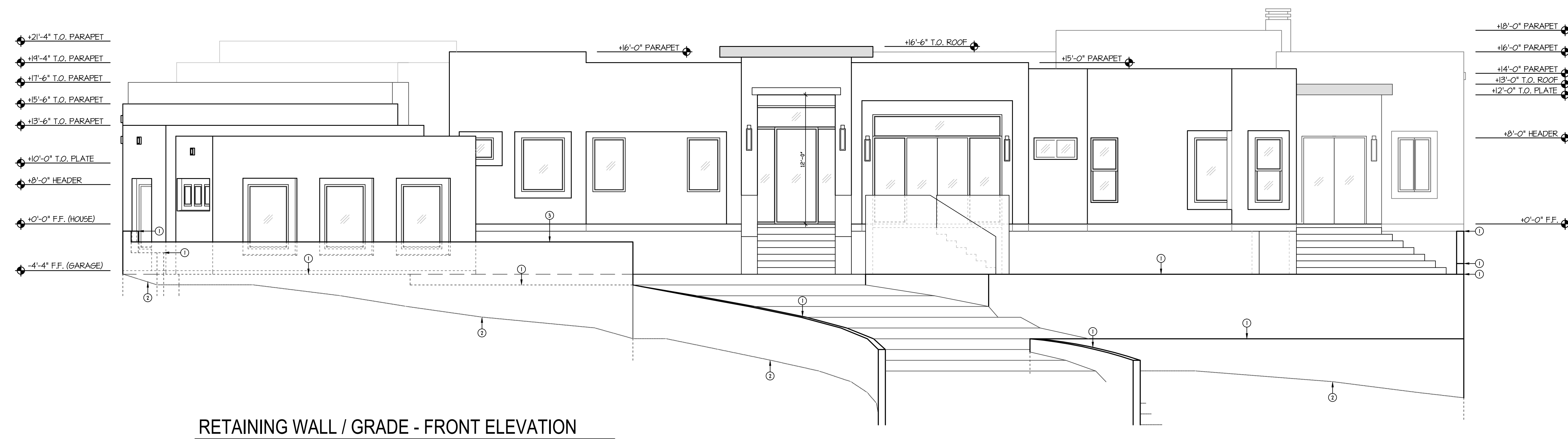
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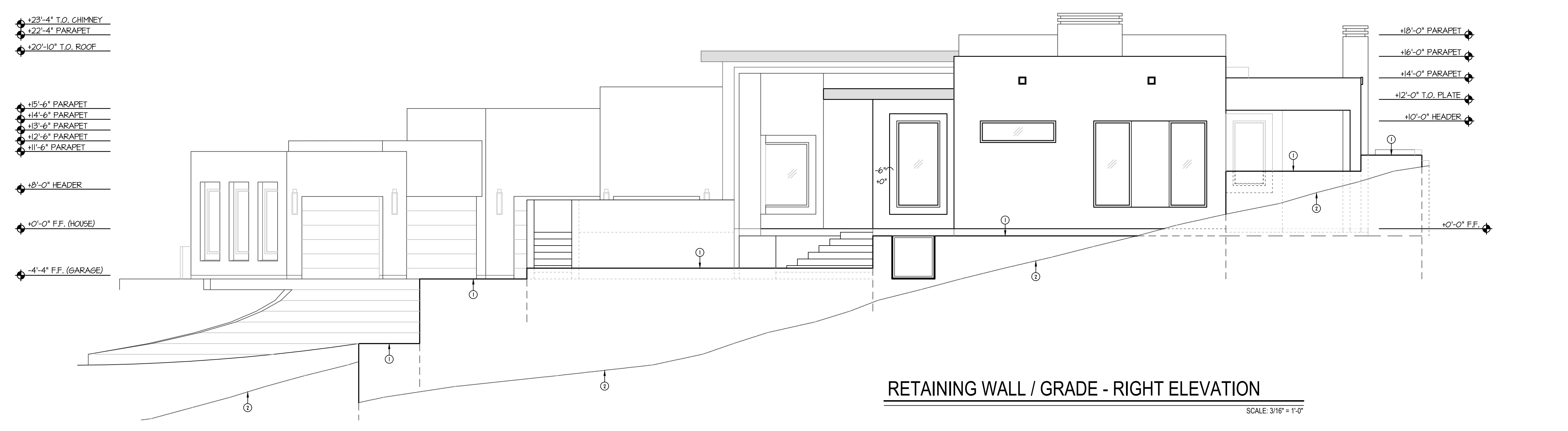
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BUILDING ELEVATIONS

SHEET NUMBER:
A4.0

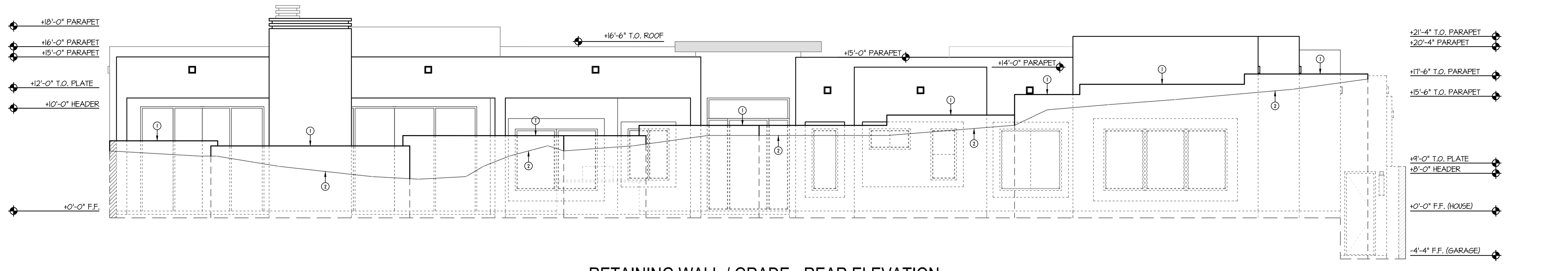
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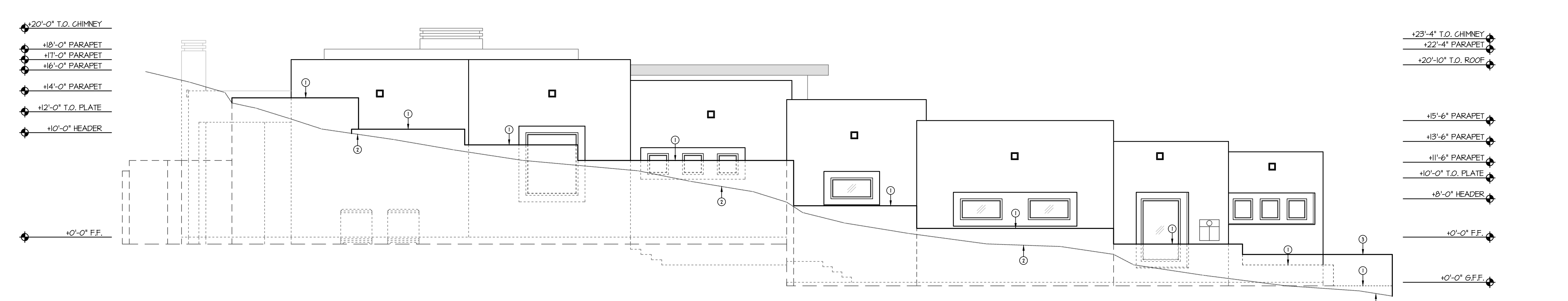
RETAINING WALL / GRADE - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



RETAINING WALL / GRADE - RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



RETAINING WALL / GRADE - REAR ELEVATION
SCALE: 3/16" = 1'-0"



RETAINING WALL / GRADE - LEFT ELEVATION
SCALE: 3/16" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-COTE STUCCO WALL FINISH (I.C.C. ESR-4228) OVER RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER B.C. SEC. RT008. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - WEEP SCREED SHALL BE OF #26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 8" A.F.S. AT ALL EXTERIOR WALLS.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANELS, ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROTECTIONS (WHERE OCCURS) SHALL HAVE STUCCO SYSTEM FINISH UNO.
 - STUCCO NOTES:
A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.
B. FINISHED STUCCO STOPS TO FLUSH OUT WITH WINDOW STUCCO STOPS.
- NOTE:
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURERS APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR OWNER.

KEYNOTES

No.	DESCRIPTION
1	TOP OF RETAINING WALL - SEE STRUCTURAL STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.
2	LINE OF NATURAL GRADE
3	3'-0" HIGH 8"x8"x6" CMU SCREEN WALL AT MOTOR COURT - SEE STRUCTURAL PLAN STUCCO AND PAINT FINISHES TO MATCH RESIDENCE.

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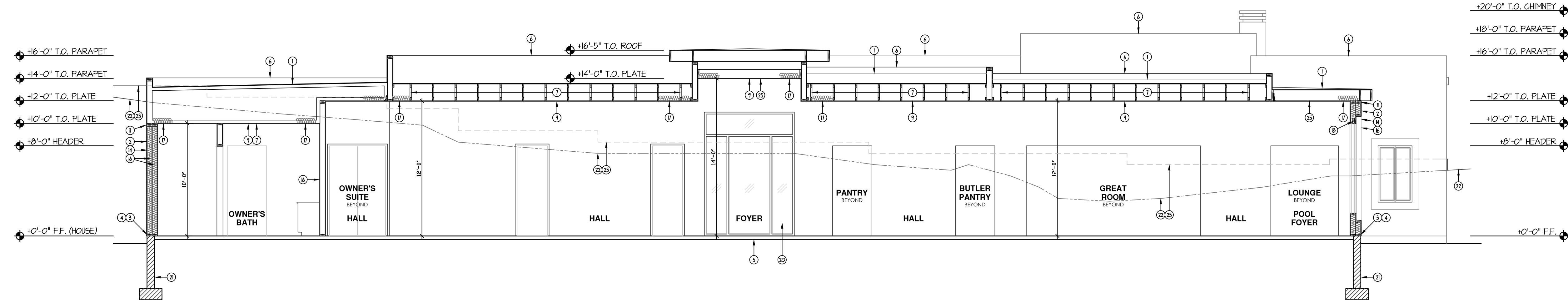
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PROJECT NUMBER: _____
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SHEET TITLE:
RETAINING WALL / GRADE ELEVATIONS

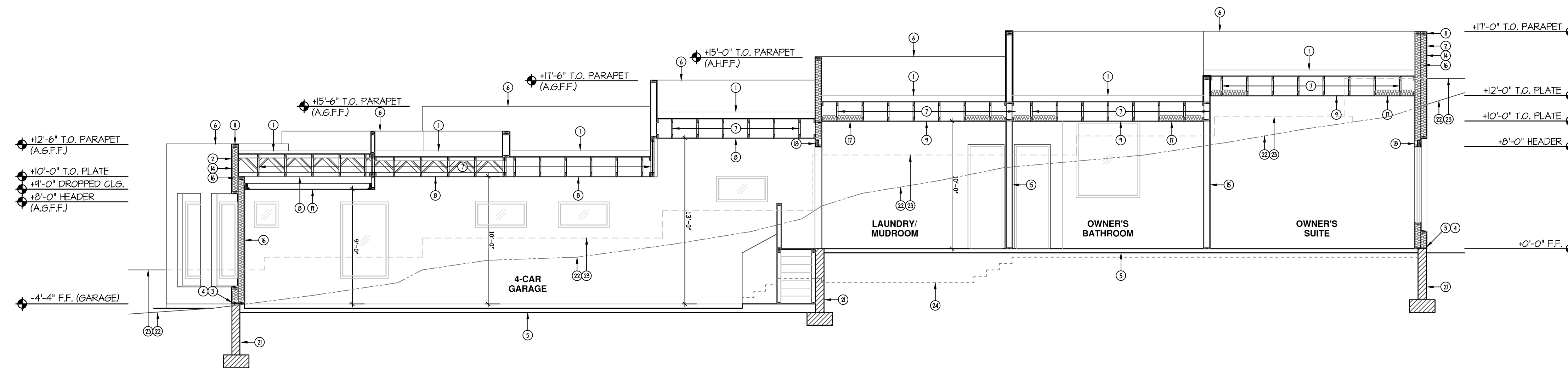
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SECTION A

SCALE: 3/16" = 1'-0"



SECTION B

SCALE: 3/16" = 1'-0"

GENERAL INFORMATION

1. ALL TRUSSES TO BE MANUFACTURED BY A CITY APPROVED FABRICATOR.
2. DESIGN TRUSSES TO CARRY EXTRA LOAD AT ANY & ALL CRIPPLE WALLS.
3. TRUSS DRAWINGS AND DATA TO BE PROVIDED TO FIELD INSPECTOR FOR COMPARISON TO FRAMING PLAN.
4. ALL WOOD RESTING ON OR ABUTTING TO CONCRETE OR MASONRY (WIND SHU) SHALL BE PRESSURE TREATED OR FOUNDATION RESISTANT.
5. WESTERN ONE-KOTE STUCCO WALL FINISH (I.C.C. ESR #279) OVER RESISTIVE BARRIER OF TYPE IS ASPHALT-SATURATED RAG FELT.
6. FLASHINGS OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL AND PER I.R.C. SEC. R702.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
7. WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE AND A MINIMUM 6" A.F.F. AT ALL EXTERIOR WALLS.
8. CONCRETE TILE ROOFS INSTALLED PER MANUFACTURERS SPECIFICATIONS AND I.C.C. ESR #100.
9. ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
10. ALL VENTS, FLASHINGS, PASCIA, ELECTRICAL PANELS, ETC. TO BE PAINTED TO MATCH HOUSE.
11. WHERE EAVE OR CORNER VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
12. GARAGE DOOR SELECTION PER OWNER SPECIFICATIONS. GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL WITH ANY GARAGE DOOR DESIGN.
13. COACH LIGHTS PER OWNER - CENTER AT +68" A.F.F.
14. ALL FOAM POPOUT PROJECTIONS (IF OCCURS) SHALL HAVE STUCCO SYSTEM FINISH UNO.
15. STUCCO NOTES:
 - A. DO NOT BLOCK WEEP HOLES AROUND WINDOW FRAMES.
 - B. FINISHED STUCCO SURFACE TO FLUSH OUT WITH WINDOW STUCCO STOPS.

NOTE:
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KEYNOTES

No.	DESCRIPTION
1	7" FOAM ROOF WITH ELASTOMERIC TOP COAT AND #1 GRANULES. PROVIDE CONCRETS FOR POSITIVE DRAINAGE.
2	ONE-KOTE STUCCO SYSTEM (ESR #607) OVER FOAM BOARD (ON AS BOARD AT ATTIC AREAS).
3	WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BUILDING.
4	PRESSURE TREATED BOTTOM PLATE
5	CONCRETE SLAB OVER TERMITE TREATED A.B.C. FILL
6	TOP OF PARAPET
7	PRE-FAB TRUSSES - SEE FRAMING PLAN AND TRUSS CALCULATIONS
8	5/8" TYPE 'X' GYPSUM BOARD PER CITY REQUIREMENTS
9	1/2" GYPSUM BOARD (ESR #338) PER I.R.C. TABLE R023.5
10	1/2" EXTERIOR TYPE GYPSUM BOARD (ESR #338) PER I.R.C. TABLE R023.5
11	DOUBLE TOP PLATE
12	2x4 STUDS AT 24" O.C. (NON-BEARING WALLS)
13	2x4 STUDS AT 16" O.C. (BEARING WALLS) UNO.
14	2x6 STUDS AT 16" O.C. (BEARING WALLS) UNO.
15	2x4 STUDS AT 24" O.C. (NON-BEARING WALLS)
16	R-19 BATT INSULATION IN ALL EXTERIOR WALLS AND GARAGE WALLS
17	R-30 SPRAY FOAM INSULATION IN ALL LIVEABLE ATTIC AREAS.
18	WOOD BEAM - SEE FRAMING PLAN
19	DROPPED CEILING
20	TEMPERED GLASS
21	CONC. STEM AND FOOTING - SEE FOUNDATION PLAN
22	NATURAL GRADE BEYOND - SEE CIVIL ENGINEERING
23	LINE OF RETAINING WALL BEYOND
24	LINE OF EXTERIOR HARDSCAPE BEYOND
25	CEILING JOISTS - SEE STRUCTURAL FRAMING PLAN

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8.16.2022

SHEET TITLE:

BUILDING SECTIONS

SHEET NUMBER:

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GENERAL NOTES

- ADJUST CFM FOR DIFFUSERS BASED ON CAPACITY OF UNIT.
- UNDERCUT ALL DOORS 1".
- CLOTHES DRYER IS TO BE PROVIDED WITH AN EXHAUST DUCT 4" MIN. AND NOT TO EXCEED 35 FT. IN LENGTH. THE MAXIMUM LENGTH ALLOWED IS REDUCED BY 2.5 FT. FOR EACH 45-DEGREE BEND AND 5 FT. FOR EACH 90-DEGREE BEND. TERMINATE TO OUTSIDE OF BUILDING WITH A BACKDRAFT DAMPER. NO SCREENS. DUCTS SHALL BE MECHANICALLY FASTENED. SCREWS OR SIMILAR FASTENERS SHALL NOT PROTRUDE MORE THAN 1 EIGHTH INCH INTO INSIDE OF THE DUCT. 2" OVER-SIZE NAIL PLATES. SEE IRC SECTION M1502 FOR DETAILS AND EXCEPTIONS.

DUCTWORK

- DUCTWORK SHALL BE GALVANIZED, PRIME-GRADE, LOCK-FORMING QUALITY STEEL (LFO) HAVING A GALVANIZED COATING OF 1-3/4 OUNCES TOTAL FOR BOTH SIDES OF ONE SQUARE FOOT OF A SHEET.
- ALL ROUND DUCT BRANCH TAKEOFFS SHALL BE PROVIDED WITH SPIN-IN COLLAR AND BALANCING DAMPER.
- ALL DUCTS SHALL BE SUBSTANTIALLY SUPPORTED WITH HANGERS TO THE STRUCTURE OR OTHERWISE DEPENDING ON LOCATION CONDITIONS, PLACING SUPPORTS NOT OVER 8 FEET APART ALONG THE LENGTH OF THE DUCT. HANGERS SHALL CONFORM TO ALL APPLICABLE MECHANICAL CODES AND SMACNA REQUIREMENTS.
- FLEXIBLE ROUND DUCTS TO OUTLETS SHALL BE THERMALFLEX TYPE MKE, A MAXIMUM LENGTH OF 8'-0" LONG (AND ALLOWED ONLY WHERE INDICATED ON THE DRAWINGS).

GRILLES, REGISTERS AND DIFFUSERS

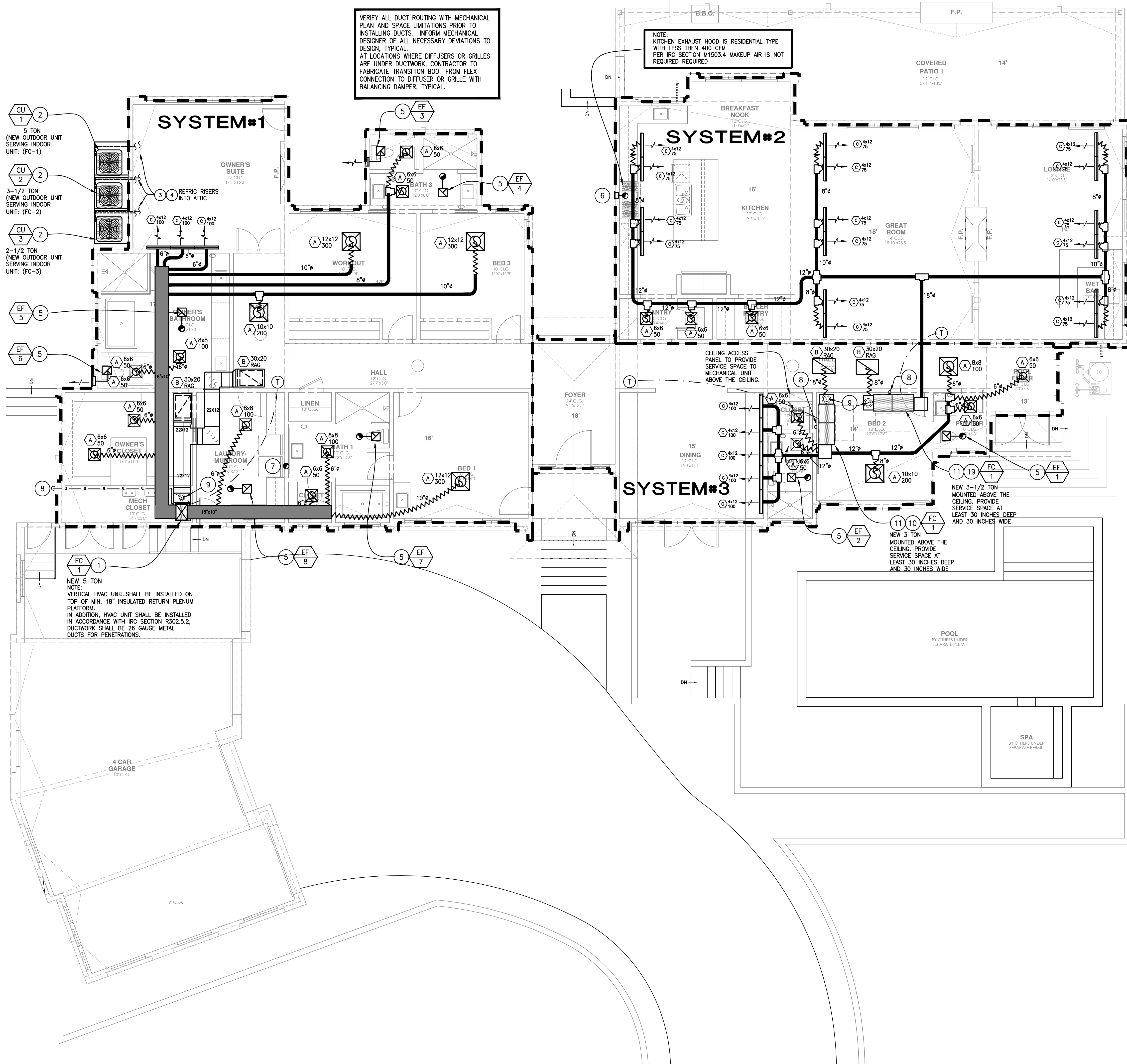
- FURNISH AND INSTALL ALL GRILLES, REGISTERS, CEILING DIFFUSERS AND DOOR GRILLES WHERE INDICATED. THEY SHALL BE OF SIZE CALLED FOR ON THE DRAWINGS.
- ALL GRILLES, REGISTERS, AND CEILING DIFFUSERS MUST BE SET FLUSH AND TRUE TO WALL OR CEILING TO PREVENT AIR LEAKAGE AROUND EDGES. ALL UNITS SHALL BE PROVIDED WITH NEOPRENE GASKETING AROUND THE INSIDE OF THE FRAME AND BALANCING DAMPERS.
- ALL UNITS SHALL BE FACTORY FINISHED, OF COLOR SELECTED BY THE ARCHITECT, OR AS OTHERWISE INDICATED.

GENERAL

- THE DETAILS SHOWN ON THESE DOCUMENTS ARE TYPICAL. ALL DUCT, PIPE, AND EQUIPMENT CONNECTIONS AND/OR ASSEMBLIES SHALL BE PER THE SPECIFIED DETAIL. TYPICAL DETAILS INDICATE MINIMUM REQUIREMENTS. WHERE CODE AND/OR MANUFACTURER'S REQUIREMENTS ARE MORE STRINGENT THOSE REQUIREMENTS SHALL APPLY.
- REFER TO ARCHITECTURAL DRAWINGS (REFLECTED CEILING PLAN) FOR EXACT LOCATION OF THE DIFFUSERS AND GRILLES. MATCH FRAME TYPE WITH CEILING.
- ALL WORK SHALL COMPLY WITH CONSTRUCTION DOCUMENTS, AND 2018 IMC OR MECHANICAL CHAPTERS OF 2018 IRC.
- PROVIDE DUCT HANGER AT EACH JOINT AND/OR MAXIMUM 4 FEET ON CENTER.
- SUPPORT ALL DUCTWORK, PIPING, AND OTHER MECHANICAL EQUIPMENT FROM THE STRUCTURE.
- FLEX DUCT SHALL BE "ATCO SERIES 30". INSTALL FLEX DUCT IN ACCORDANCE TO MANUFACTURER'S INSTALLATION INSTRUCTION WITHOUT ANY TURNS AND PER CONTRACT DOCUMENT. HANG FLEX DUCT FROM THE STRUCTURE. USE 20 GAUGE 1-1/8" STRAP AND SADDLE.
- ALL REFRIGERANT PIPING SHALL BE SIZED, INSTALLED AND INSULATED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- PROVIDE FLASHING FOR REFRIGERANT PIPING PENETRATION THROUGH THE ROOF OR WALL.
- PROVIDE FLEX CONNECTION AT SUPPLY DISCHARGE OF THE UNITS.
- FILTERS SHALL BE "FARR" 2" 30/30 AT MAXIMUM 350 FEET PER MINUTE FACE VELOCITY. PROVIDE WEATHER PROOF FRAME AND ACCESS DOOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR WARRANTY FOR ALL PARTS AND LABOR.

NOTES:

- WHERE THE EXHAUST DUCT IS CONCEALED WITHIN THE BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION.
- DUCT SEALING, MANDATORY. INDICATE THAT EITHER A POST CONSTRUCTION DUCT LEAKAGE TEST OR A ROUGH-IN DUCT LEAKAGE TEST SHALL BE PERFORMED IN ACCOMPLISHED.
- AIR LEAKAGE, MANDATORY. BUILDING ENVELOPE IS REQUIRE TO BE SEALED OF THE COMPONENTS THAT MAKE UP THE THERMAL ENVELOPE WILL BE ACCOMPLISHED.
- ROOF BATT INSULATION, R-38 IS THE DEFAULT MINIMUM IS YOU WISH TO USE THE EXCEPTION WHICH ALLOWS R-30 THEN SHOW COMPLIANCE WITH TRUSS HEEL HEIGHT SHALL ALLOW FULL UNCOMPRESSED INSULATION TO COVER THE FULL TOP PLATE.
- CLOTHES DRYER, INDICATE THAT A PERMANENT LABEL SHALL BE INSTALLED WITHIN 6' FT OF THE DRYER INLET STATING THE SIZE AND DEVELOPMENT LENGTH WHEN THE DUCT IS CONCEALED WITHIN THE CONSTRUCTION MAXIMUM LENGTH 35 FT OR MANUFACTURER LISTED INSTRUCTIONS.



KEYED NOTES

- MOUNT HORIZONTAL FAN COIL ABOVE THE CEILING. MOUNT UNIT PER MANUFACTURER'S REQUIREMENTS. ROUTE 3/4" UNIT CONDENSATE DRAIN PIPE ABOVE THE CEILING AND THRU EXTERIOR WALL TO DAYLIGHT 6" A.F.G. PROVIDE MIN. 1/8" PER FT. SLOPE FOR DRAIN LINE. AND IN ACCORDANCE WITH IRC REQUIREMENTS. MAINTAIN MIN. MANUFACTURER'S RECOMMENDED CLEARANCES TO COMBUSTIBLES.
- OUTDOOR CONDENSING UNIT MOUNTED ON CONCRETE EQUIPMENT PAD 4" MIN. ABOVE THE FINISHED GRADE.
- ROUTE REFRIGERANT LINES UP IN WALL TO THE CEILING AT SECOND FLOOR AND OVER TO UNIT. INSTALL AND SIZE THE REFRIGERANT LINE PER THE MANUFACTURER'S PUBLISHED INSTRUCTIONS. INSULATE VAPOR LINE WITH 3/4" WALL PRE FORMED INSULATION EQUAL TO ARMAFLEX. COVER ALL INSULATION EXPOSED TO THE WEATHER WITH A ALUMINUM WEATHER JACKET.
- SLEEVE PIPING THRU WALL GROUT AND SEAL WEATHER TIGHT AROUND PIPING THRU WALL. INSTALL AN ESCUTCHEON ON THE OUTSIDE OF THE WALL.
- ROUTE EXHAUST DUCT UP THRU ROOF TO AN APPROVED ROOF CAP.
- ROUTE 6" KITCHEN EXHAUST DUCT UP THRU EXTERIOR WALL TO APPROVED WALL CAP.
- ROUTE DRYER 4" EXHAUST DUCT UP TO ABOVE THE CEILING THRU ROOF TO AN APPROVED ROOF CAP. INDICATE THAT A PERMANENT LABEL SHALL BE INSTALLED WITHIN 6' FT OF THE DRYER INLET STATING THE SIZE AND DEVELOPMENT LENGTH WHEN THE DUCT IS CONCEALED WITHIN THE CONSTRUCTION MAXIMUM LENGTH 35 FT OR MANUFACTURER LISTED INSTRUCTIONS. PER 2018 IRC M1502-4.1 & 2018 IRC M1502-4.
- 3/4" CONDENSATE DRAIN FROM FAN COIL UNIT ROUTE TO EXTERIOR WALL AND DOWN TO SPILL OUTSIDE AT APPROXIMATE 6" ABOVE FINISH GRADE.
- PROVIDE 4" OUTSIDE AIR DUCT UP THRU ROOF TO ROOF CAP BALANCED TO PROVIDE 50 CFM.
- PROVIDE SECONDARY SHEET METAL PAN WITH 3/4" DRAIN UNDER FAN COIL UNIT. RUN OVERFLOW DRAIN SEPARATE TERMINATION TO EXTERIOR OF THE BUILDING.
- MOUNT VERTICAL FAN ON TOP OF A MIN. 18" STAND. PROVIDE ACOUSTICAL Baffle LINED WITH MINIMUM R8 ACOUSTICAL LINER. MOUNT UNIT PER MANUFACTURER'S REQUIREMENTS. ROUTE 3/4" UNIT CONDENSATE DRAIN PIPE ABOVE THE CEILING AND THRU EXTERIOR WALL TO DAYLIGHT 6" A.F.G. PROVIDE MIN. 1/8" PER FT. SLOPE FOR DRAIN LINE. AND IN ACCORDANCE WITH IRC REQUIREMENTS. MAINTAIN MIN. MANUFACTURER'S RECOMMENDED CLEARANCES TO COMBUSTIBLES.

MECHANICAL SYMBOL LEGEND

	CONDENSING UNIT
	FAN COIL UNIT
	FLEXIBLE DUCT CONNECTION
	FLEXIBLE DUCT
	RECTANGULAR DUCT WITH NET INSIDE DIMENSIONS SHOWN IN INCHES
	ROUND DUCT WITH NET INSIDE DIMENSIONS SHOWN IN INCHES
	POSITIVE PRESSURE DUCT - RISE
	POSITIVE PRESSURE DUCT - DROP
	NEGATIVE PRESSURE - RISE
	NEGATIVE PRESSURE - DROP
	TURNING VANES
	24x24 LAY-IN CEILING RETURN/TRANSFER GRILLE.
	24x24 LAY-IN CEILING SUPPLY DIFFUSER.
	4-WAY BLOW PATTERN
	2-WAY BLOW PATTERN
	EQUIPMENT IDENTIFICATION
	KEYED NOTE IDENTIFICATION
	THERMOSTAT

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MECHANICAL
 FLOOR PLAN
 SHEET NUMBER:

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MECHANICAL FLOOR PLAN -
 M1.1
 SCALE: 3/16"=1'-0"

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2018 IECC COMPLIANCE NOTES

- PER 2018 IRC SECTION N1103.1.1 (R403.1.10) PROVIDE AUTOMATIC CHANGE/VER 7-DAY PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH A 2-HOUR OCCUPANT OVERRIDE, INTELLIGENT RECOVERY, AND 10-HOUR MINIMUM BATTERY BACKUP PROGRAM SETBACK. TEMPERATURES TO 65°F(COOL) AND 55°F(HEAT). THERMOSTATS USED TO CONTROL BOTH HEATING AND COOLING, SHALL PROVIDE A SETPOINT OVERLAP RESTRICTION SUCH AS A DEADBAND OF AT LEAST 5°F. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SETPOINT NO HIGHER THEN 70°F(21°C) AND COOLING TEMPERATURE SETPOINT NO LOWER THEN 78°F(26°C). ALL TEMPERATURE CONTROLS ARE TO BE TESTED, ADJUSTED, AND CALIBRATED FOR PROPER OPERATION. MOUNT ALL THERMOSTATS AND TEMPERATURE SENSORS AS INDICATED ON THE DRAWINGS. COORDINATE EXACT LOCATION WITH THE ARCHITECT. PROVIDE LOCKING COVER AS REQUIRED BY THE ARCHITECT OR THE OWNER. MOUNT BETWEEN 48"-54" AFF.
- WHERE MECHANICAL VENTILATION IS PROVIDED, THE SYSTEM SHALL PROVIDE THE CAPABILITY TO REDUCE THE OUTDOOR AIR SUPPLY TO THE MINIMUM REQUIRED BY CHAPTER 4 OF THE INTERNATIONAL ENERGY EFFICIENCY CODE. OUTDOOR AIR SUPPLY AND EXHAUST DUCTS SHALL BE PROVIDED WITH AUTOMATIC MEANS TO REDUCE AND SHUT OFF AIRFLOW.
- SEALING DUCTWORK: ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS AND CONNECTIONS IN DUCTWORK MUST BE SECURELY SEALED USING WELDMENTS; MECHANICAL FASTENERS WITH SEALS; GASKETS OR MASTICS; MESH AND MASTIC SEALING SYSTEMS; OR TAPES, TAPES AND MASTICS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A OR 181B.
- OUTDOOR AIR SUPPLY AND EXHAUST DUCTS SHALL BE EQUIPPED WITH MOTORIZED DAMPERS THAT WILL AUTOMATICALLY SHUT WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE. EXCEPTION - GRAVITY DAMPERS SHALL BE PERMITTED IN BUILDINGS LESS THAN 3 STORIES IN HEIGHT.
- PROVIDE OWNER WITH COMPLETE OPERATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT AND CONTROLS INSTALLED. DOCUMENTATION MUST INCLUDE EQUIPMENT CAPACITY (INPUT & OUTPUT), REQUIRED MAINTENANCE ACTIONS, CONTROLS AND CALIBRATION INFORMATION INCLUDING WIRING DIAGRAMS, CONTROL SEQUENCE DESCRIPTIONS, DESIRED OR FIELD-DETERMINED SETPOINTS, AND A COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE.

NOTES

- THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY, (BPI OR RESNET CERTIFIED). A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. (N1102.4.1.2)
- DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M1507.4.1. PROVIDE DUCT TIGHTNESS TESTING CONDUCTED BY AN APPROVED THIRD PARTY TESTING AGENCY (BPI OR RESNET CERTIFIED) AND THE SIGNED WRITTEN RESULTS SHALL BE SUBMITTED TO THE CODE OFFICIAL PRIOR TO THE BUILDING FINAL DUCT TIGHTNESS SHALL BE VERIFIED BY OTHER OF THE FOLLOWING:
- POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTER BOOTHS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
 - ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. IF THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 3 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA.
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO MINIMUM R-6 (2018 IRC N1103.2).
- THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF SECTION M1507 OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING. (2018 IRC N1103.6).

HVAC LOAD CALCULATIONS

SYSTEM NUMBER	CALCULATED COOLING	PROVIDED COOLING	T-SIZING PERCENTAGE	COMPLY (YES/NO)
SYSTEM 1 (CU-1/FC-1)	SENS. 41.5 MBH TOTAL 41.8 MBH	SENS. 42.7 MBH TOTAL 57.0 MBH	99%	YES
SYSTEM 1 (CU-2/FC-2)	SENS. 33.3 MBH TOTAL 34.5 MBH	SENS. 31.5 MBH TOTAL 42.0 MBH	98%	YES
SYSTEM 1 (CU-3/FC-3)	SENS. 22.6 MBH TOTAL 22.9 MBH	SENS. 21.1 MBH TOTAL 28.2 MBH	98%	YES

NOTE: CALCULATIONS WERE PERFORMED BY THE ELITE SOFTWARE DEVELOPMENT APPROVED ADEA SOFTWARE MANUAL J, D & S IN COMPLIANCE WITH IRC M1401.3 IRC M1601.1

RIGHT-SIZING OF AN HVAC SYSTEM IS THE SELECTION OF EQUIPMENT AND THE DESIGN OF THE AIR DISTRIBUTION SYSTEM TO MEET THE ACCURATE PREDICTED HEATING AND COOLING LOADS OF THE HOUSE. EQUIPMENT SELECTION ARE ALL TAKEN FROM THE INPUTS USED IN THE MANUAL J, D & S HVAC LOAD CALCULATION REPORT. FOR SYSTEM LOAD SUMMARY AND EQUIPMENT DATA AND MANUAL D DUCT SIZE GRID FOR ROOM CFM FLOWS.

SPLIT SYSTEM HEAT PUMP SCHEDULE

MARK	NOMINAL TONS	MANUFACTURER MODEL #		INDOOR UNIT							OUTDOOR UNIT				SEER/EER	HSPF/COP	CYCLE	HEATING/COOLING CAPACITIES					REMARKS			
		INDOOR	OUTDOOR	TOTAL CFM	O.A. CFM	ESP IWG	HEAT STRIP KW	HP	MAX FLA	MOCP	VOLT/Ø	WT. LBS.	MAX FLA	MOCP				VOLT/Ø	WT. LBS.	ENT AIR		AMBIENT				
																				DB	WB	DB		WB	TOTAL	SENS.
FC-1/CU-1	5	CARRIER FV4NCB06L	CARRIER 25HBC560A	2000	30	.5	-	3/4	4.3	15.0	208/230/1	200	34.1	50	230/1	250	14.0 SEER	8.2/-	COOL	80	63	108	76	57.0	42.7	SEE NOTES
FC-3/CU-3	3-1/2	CARRIER FV4NC006L	CARRIER 25HBC542A	1400	50	.5	-	3/4	4.3	15.0	208/230/1	193	22.0	35	230/1	193	16.0 SEER	9.0/-	COOL	70	-	32	-	56.0	-	SEE NOTES
FC-1/CU-1	2-1/2	CARRIER FV4CN002	CARRIER 25HBC530A	1000	50	.5	-	1/2	4.3	15.0	208/230/1	152	28.7	40	230/1	152	15.0 SEER	8.5/-	COOL	80	63	108	76	28.2	21.1	SEE NOTES

- NOTE
- UNITS SHALL BE AS MANUFACTURED BY: TRANE, CARRIER, RUUD.
 - UNITS ARE SIZED FOR 108°F SUMMER AMBIENT TEMPERATURE, 30°F WINTER TEMPERATURE.
 - COOLING CAPACITY, MINIMUM HEAT CAPACITY AND CFM ARE MINIMUM OUTPUT REQUIRED. ALL UNITS SHALL HAVE NO LESS THEN 98% OF THESE CAPACITIES. COOLING CAPACITY IS GROSS COIL CAPACITY REQUIRED (FAN HEAT NOT DEDUCTED).
 - PROVIDE FAN COIL UNIT WITH FILTER AND FILTER RACK SIZED AT 500 FPM VELOCITY.
 - PROVIDE WITH PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HVAC UNIT
 - PROVIDE WITH LOW AMBIENT OPERATION TO: 34°F.
 - FURNISH ADAPTER FROM UNIT OUTLET TO COIL DUCT CONNECTION.
 - UNIT SHALL BE PROVIDED FOR VERTICAL INSTALLATION

NOTE ALL DX SPLIT SYSTEM FAN COIL WITH REMOTE CONDENSING UNIT WITH REFRIGERATOR LINES EXTENDING OVER "50" FT. IN LENGTH TO HAVE HARD START KIT, CRANK CASE HEATER, TIME GUARD, AND LIQUID SOLENOID VALVE AT CONDENSER. INSTALL AND ADJUST REFRIG. AND OIL CHARGE PER MFR'S RECOMMENDATIONS.

NOTE THE DWELLING MUST BE PROVIDED WITH HEATING CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES AT A POINT 3'-0" ABOVE THE FLOOR. REFER, IRC, SECTION R303.8.

EXHAUST FAN SCHEDULE

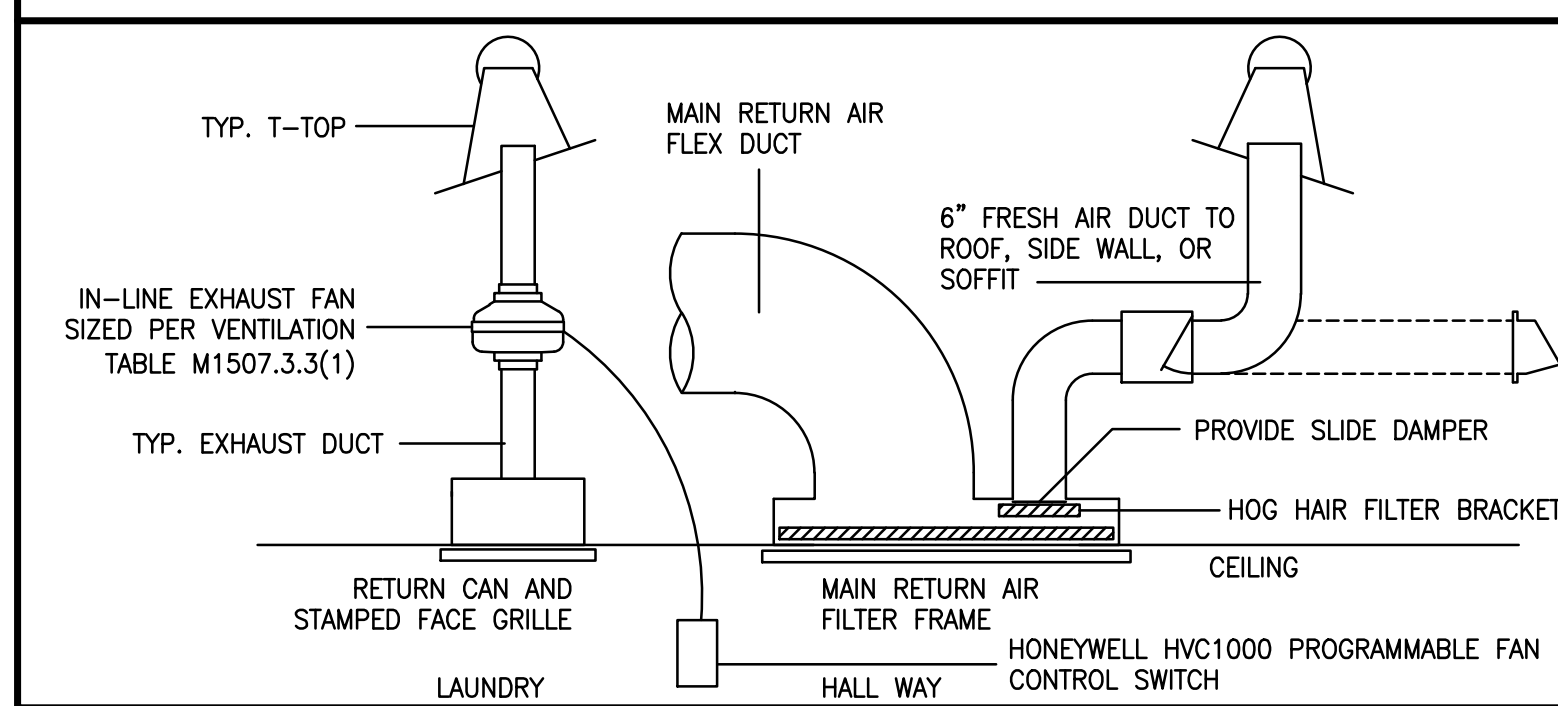
MARK	MANUF./MODEL #	TYPE	CFM	E.S.P.	WATTS	VOLT Ø	B.D.D.	DRIVE	OPER. WT.	REMARKS
1, 2, 3, 4, 5, 6, 7	GREENHECK SP-495	CEILING	60	.25	113	115/1	-	-	17 LBS	INTERLOCK WITH LIGHT SWITCH
8	GREENHECK SP-1125	CEILING	100	.25	53	115/1	-	-	17 LBS	SEE NOTE 1

- NOTES:
- FAN TO RUN CONTINUOUSLY. PROVIDE DEDICATED SWITCH FOR MANUAL OVERRIDE TO PROVIDE "WHOLE HOUSE MECHANICAL VENTILATION" IN ACCORDANCE WITH IRC M 1507.3 - R303.4

GRILLE, REGISTER, & DIFFUSER SCHEDULE

MARK	MANUF./MODEL #	DESCRIPTION	FRAME	FINISH	MATERIAL	DAMPER	MAX. NC	REMARKS
(A)	KRUEGER 1400-22	SUPPLY DIFFUSER	FLANGED	WHITE	STEEL	ØBD	30	FRAME 22
(B)	KRUEGER 580 SERIES	RETURN AIR	FLANGED	WHITE	STEEL	-	30	3/4" SPACING 35 D DEFLECTION
(C)	KRUEGER FIBT SERIES	SLOT DIFFUSER WITH STEEL PLENUM	FLANGED	WHITE	STEEL	-	30	FIXED BLADE

VENTILATION DETAIL CONTINUOUS



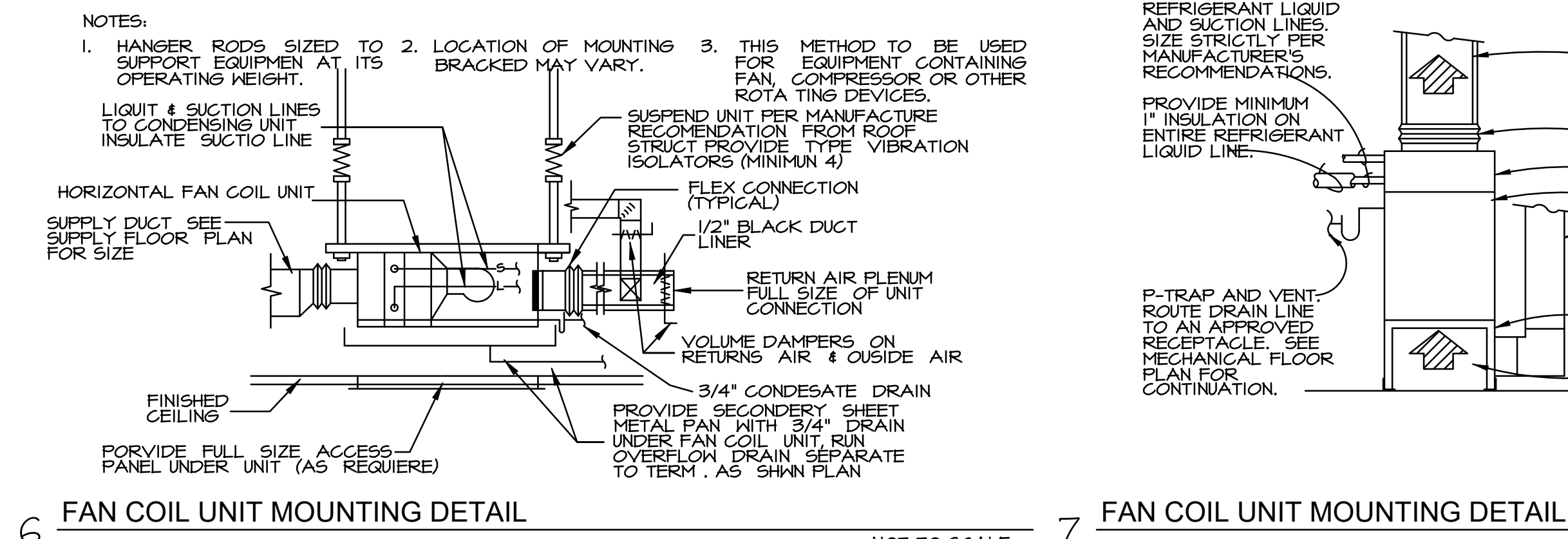
CONTINUOUS MECHANICAL VENTILATION AIRFLOW AIR REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0 - 1	2 - 3	4 - 5	6 - 7	> 7
Airflow in CFM					
< 1,500	30	45	60	75	90
1,501 - 3,000	45	60	75	90	105
3,001 - 4,500	60	75	90	105	120
4,501 - 6,000	75	90	105	120	135
6,001 - 7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

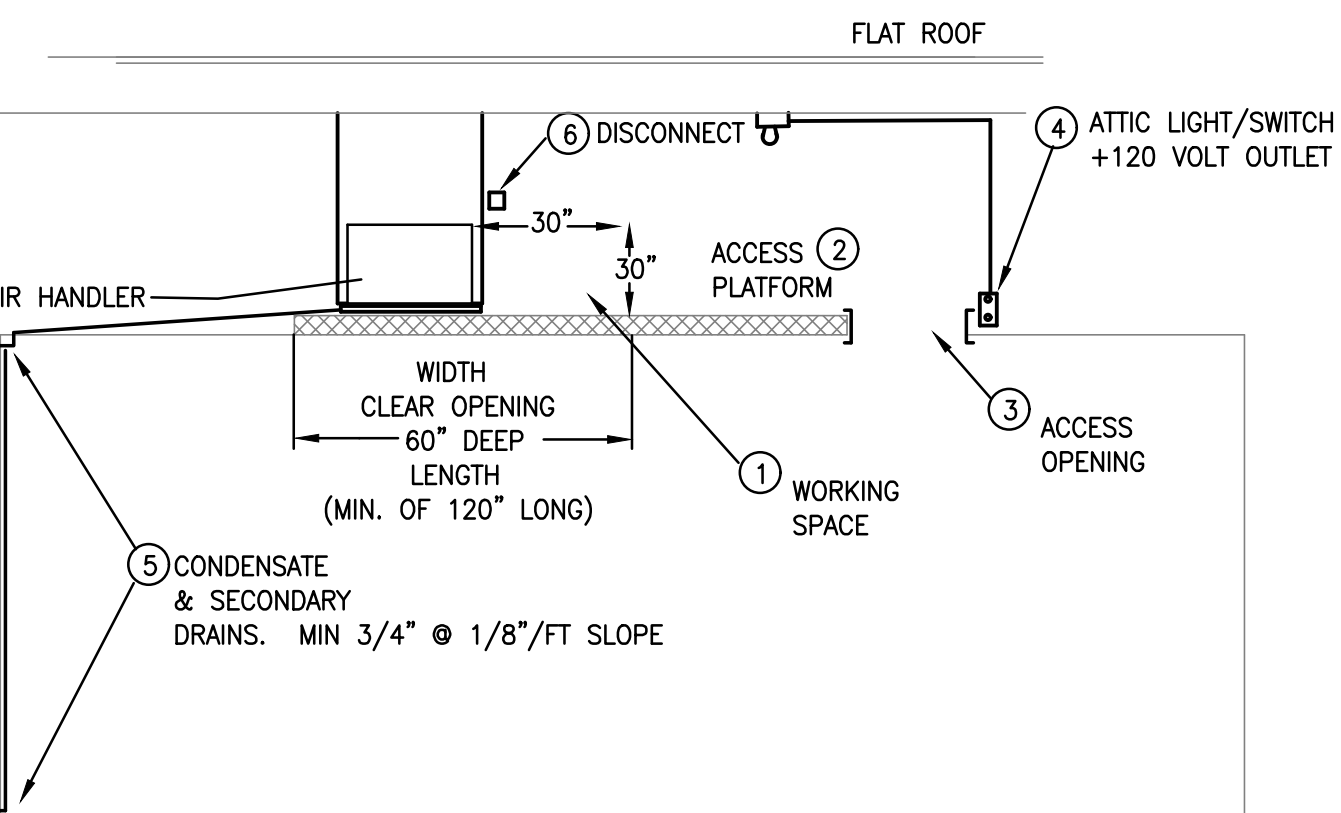
THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE IN ACCORDANCE WITH THE TABLE ABOVE. MECHANICAL VENTILATION REQUIRED = 90 CFM, 150 CFM PROVIDED. EACH INTAKE SHALL BE BALANCE TO PROVIDE 100 CFM.

THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE IN ACCORDANCE WITH THE TABLE ABOVE. MECHANICAL VENTILATION REQUIRED = 90 CFM, 150 CFM PROVIDED. EACH INTAKE SHALL BE BALANCE TO PROVIDE 100 CFM. SINCE PROVIDED OUTSIDE AIR EXCEEDS THAT REQUIRED, HOURLY RUN TIME CAN BE REDUCED. VENTILATION HOURLY RUNTIME

ZONE 1 NEW CU-1/FC-1 = 30 CFM/100CFM x 60 MINUTES = 18 MINUTES
 ZONE 2 NEW CU-2/FC-2 = 30 CFM/100CFM x 60 MINUTES = 18 MINUTES
 ZONE 3 NEW CU-3/FC-3 = 30 CFM/100CFM x 60 MINUTES = 18 MINUTES

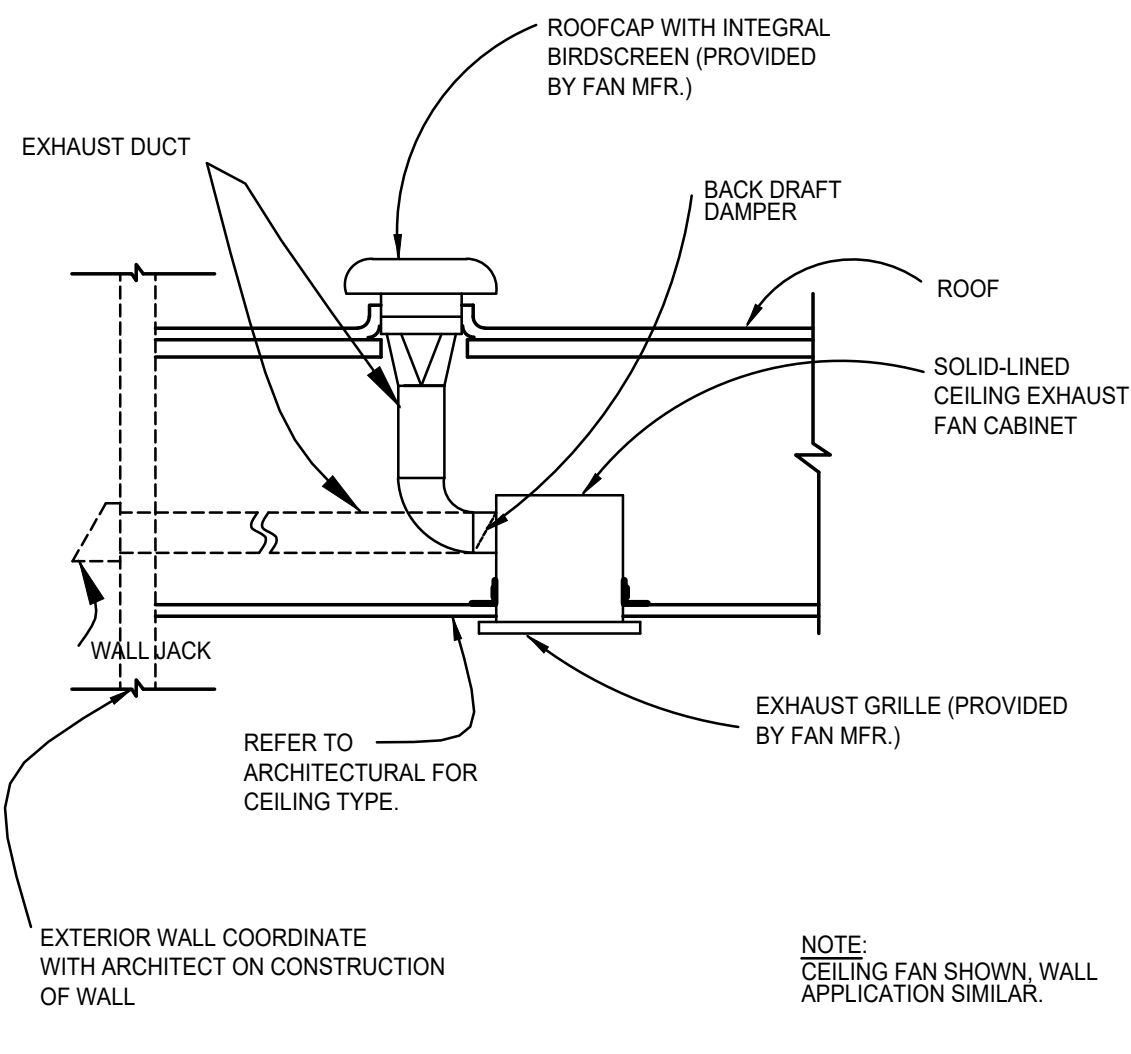


6 FAN COIL UNIT MOUNTING DETAIL NOT TO SCALE 7 FAN COIL UNIT MOUNTING DETAIL NOT TO SCALE

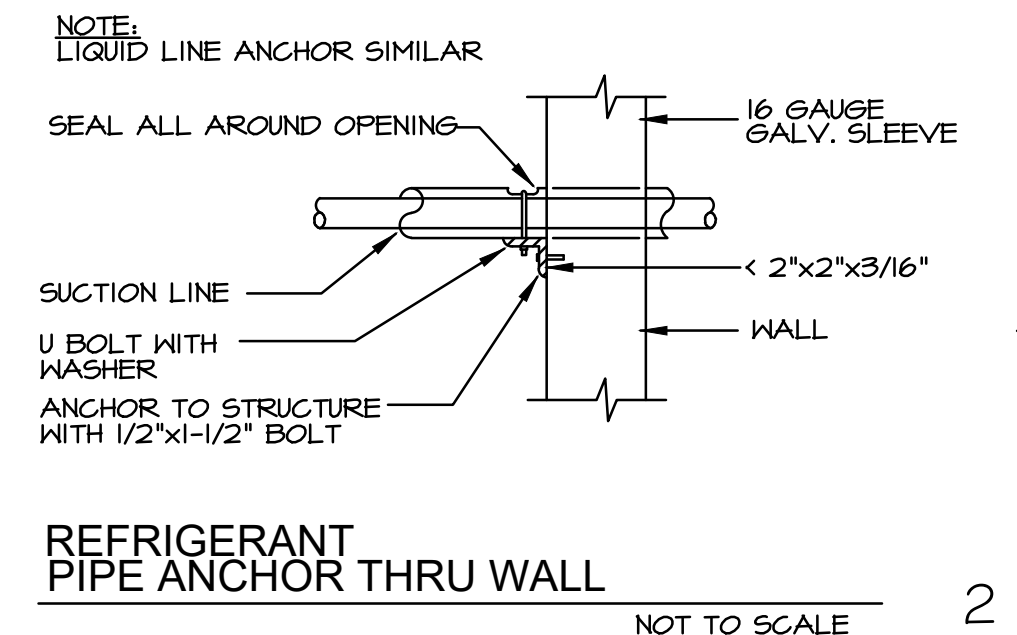


REQUIREMENTS FOR ATTIC AIR HANDLER

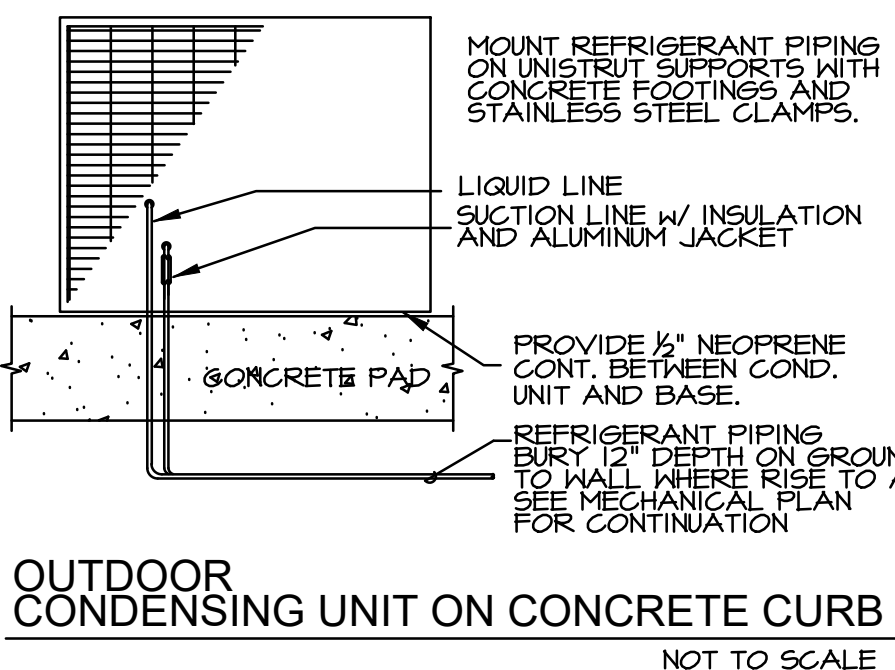
- WORKING SPACE - A WORKING PLATFORM MUST NOT BE LESS THAN 30 INCHES DEPTH FOR THE ENTIRE SERVICE SIDE OF THE FURNACE WITH A MINIMUM HEIGHT OF 30 INCHES HEAD CLEARANCE.
 - ACCESS PLATFORM - THE ACCESS PLATFORM MUST BE A MINIMUM OF 24 INCHES WIDE. CONTINUOUS FLOOR NOT MORE THAN 20 FEET IN LENGTH UNLESS THE ENTIRE AIR HANDLER CAN BE SERVICED FROM THE ATTIC ACCESS OPENING. MAKE PROVISIONS FOR PROPER INSULATION TO BE INSTALLED UNDER THE PLATFORMS WHEN REQUIRED.
 - ACCESS OPENING - ATTIC OPENINGS AND PASSAGEWAYS TO THE AIR HANDLER MUST BE 30 INCHES X 30 INCHES. EXCEPTION: THE ACCESS OPENING INTO THE SPACE MAY BE 22 INCHES BY 30 INCHES PROVIDED THE LARGEST PIECE OF EQUIPMENT CAN BE REMOVED THROUGH THIS OPENING.
- THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 22 INCHES BY 30 INCHES, WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
- EXCEPTIONS:
- THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
 - WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 1/2 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 30 FEET LONG.
- ATTIC LIGHT - A PERMANENT 120 VOLT RECEPTACLE OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGE WAY OPENING SHALL BE PROVIDED AT OR NEAR THE AIR HANDLER.
 - CONDENSATE DRAINS - A SECONDARY DRAIN PAN MUST BE INSTALLED UNDER THE COIL.
 - DISCONNECT - A POSITIVE MEANS OF ELECTRICAL DISCONNECT MUST BE LOCATED AT OR NEAR THE AIR HANDLER.



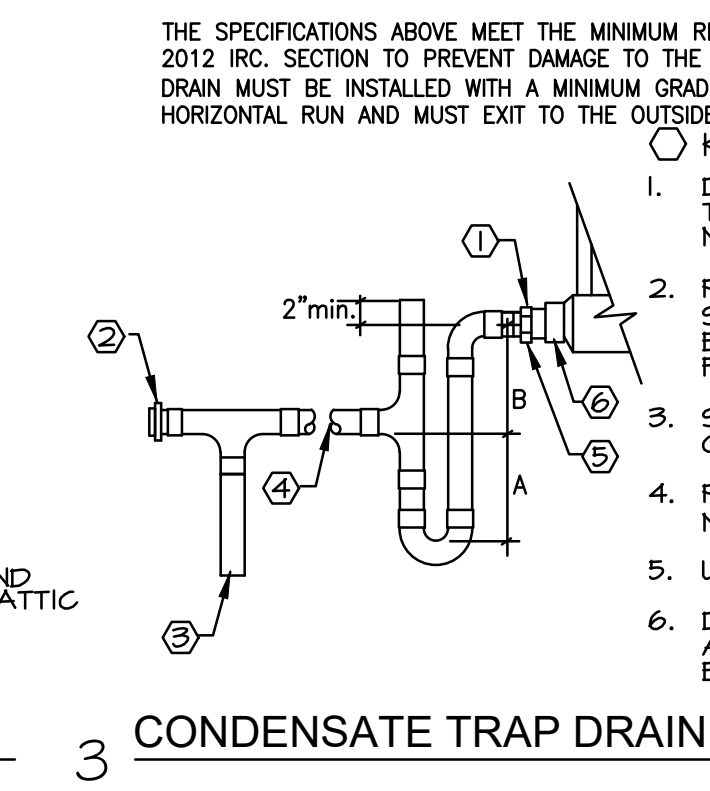
9 CEILING EXHAUST FAN - WALL/ROOF CAP NOT TO SCALE



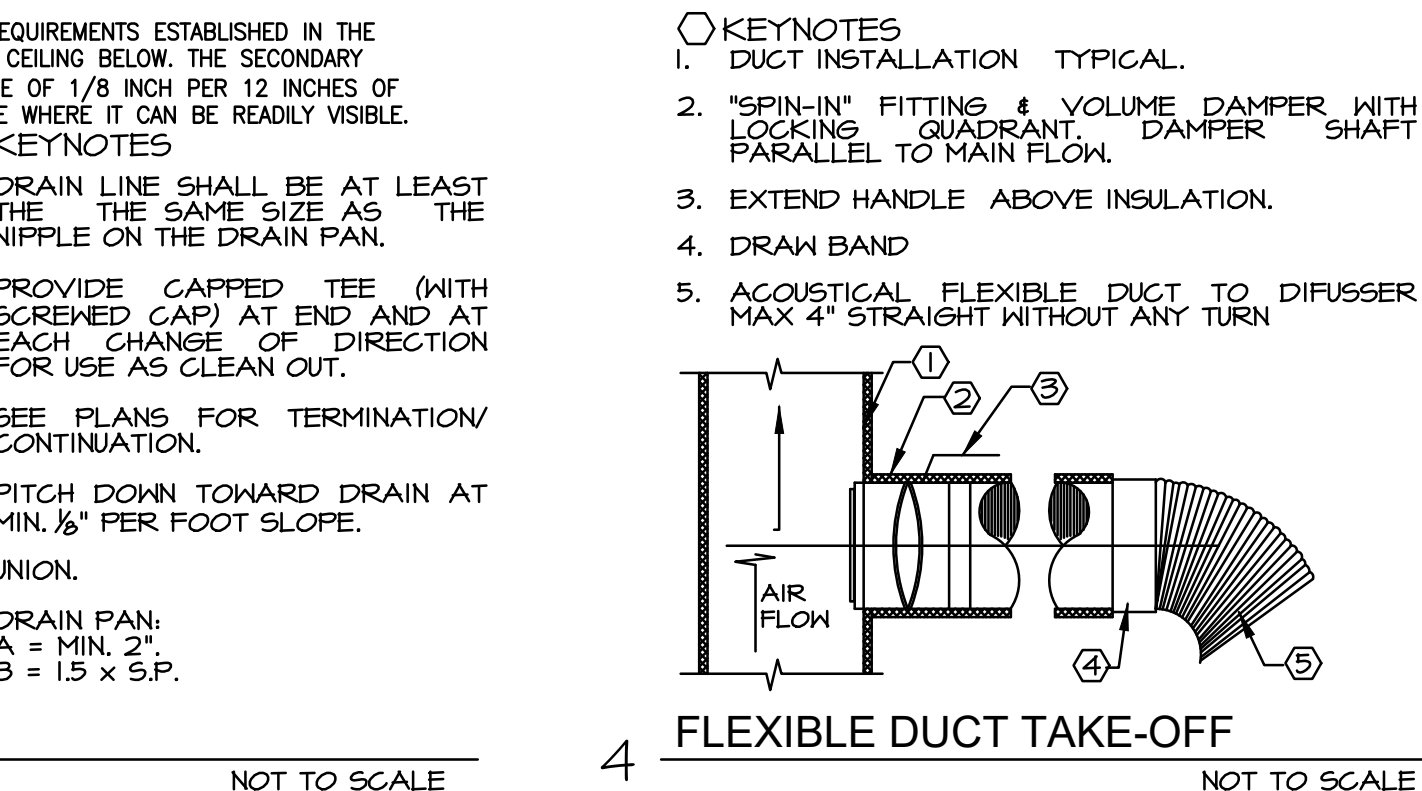
1 REFRIGERANT PIPE ANCHOR THRU WALL NOT TO SCALE



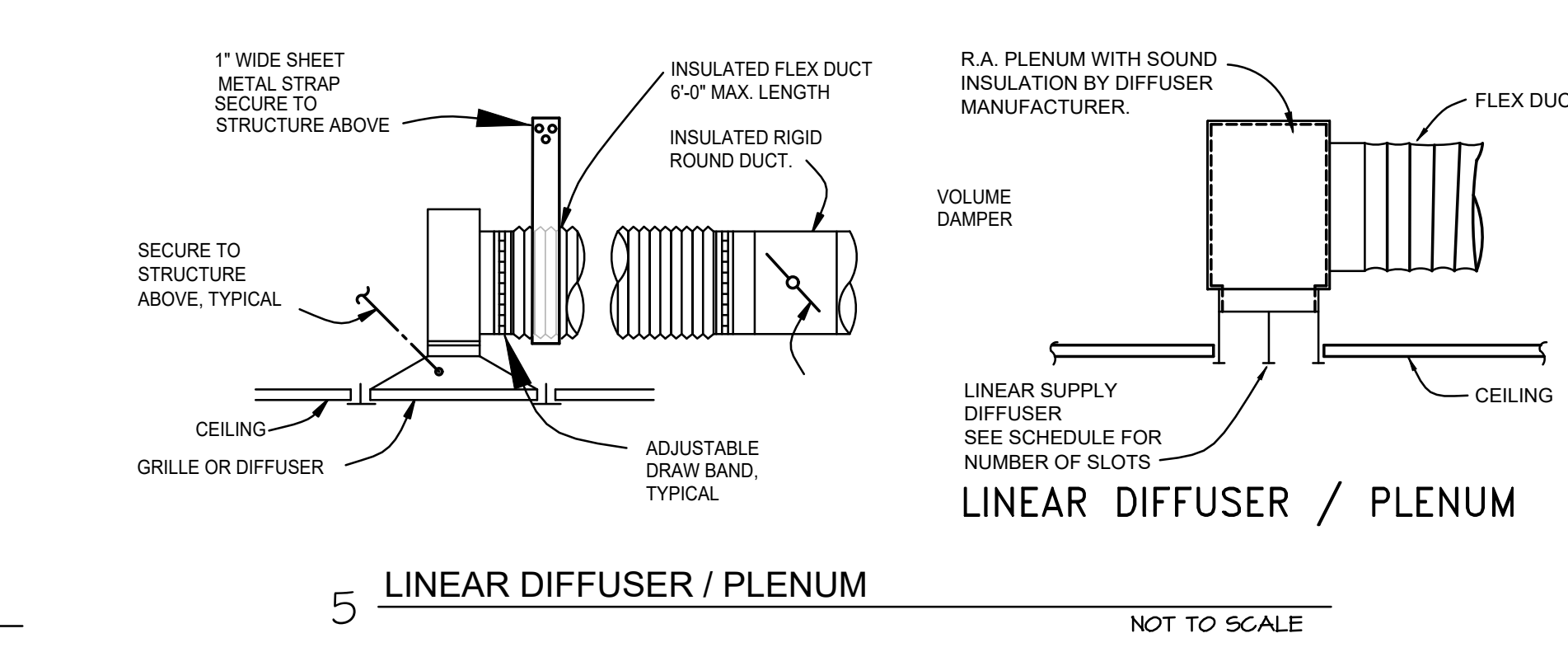
2 OUTDOOR CONDENSING UNIT ON CONCRETE CURB NOT TO SCALE



3 CONDENSATE TRAP DRAIN NOT TO SCALE



4 FLEXIBLE DUCT TAKE-OFF NOT TO SCALE



5 LINEAR DIFFUSER / PLENUM NOT TO SCALE

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PROFESSIONAL SEAL

REVISIONS

PROJECT NUMBER:

DATE: 7.25.2022

PLAN CHECK #

SHEET TITLE:
 HVAC CALCULATIONS
 AND GENERAL NOTES

SHEET NUMBER:
 M2.1

EMY DESIGN, LLC
 MECHANICAL, PLUMBING & DESIGN SERVICES

4705 E. Bighorn Avenue
 Phoenix, Arizona 85044
 Tel: 480.335.2551
 E-mail: EMYDesign@my.com
 JOB NO.: 22076E

WATER METER INFORMATION			
1) TOTAL NUMBER OF WATER SUPPLY FIXTURE UNIT VALUES (IRC P2103.6)			
TYPE OF FIXTURE	QUANTITY	UNIT VALUE	TOTAL UNITS
TUB (WITH/ WITHOUT OVERHEAD SHOWER)	1	x 14	= 14
CLOTHES WASHER	2	x 14	= 28
DISHWASHER	2	x 14	= 28
FULL-BATH GROUP WITH BATHTUB (WITH OR WITHOUT SHOWER HEAD) OR SHOWER STALL	5	x 36	= 180
HALF-BATH GROUP (WATER CLOSET AND LAVATORY)	1	x 26	= 26
HOSE BIBB (2 ONLY)	2	x 25	= 50
KITCHEN GROUP (DISHWASHER AND SINK WITH OR WITHOUT GARBAGE DISPOSAL)	1	x 25	= 25
KITCHEN SINK	1	x 14	= 14
LAUNDRY GROUP (CLOTHES WASHER STANDPIPE AND LAUNDRY TUB)	2	x 25	= 50
LAUNDRY TUB	1	x 14	= 14
LAVATORY	7	x 07	= 49
SHOWER STALL	1	x 14	= 14
WATER CLOSET TANK TYPE	6	x 22	= 132
OTHER	0	x 0	= 0
FOR FIXTURE UNIT NOT LISTED, CHOOSE A FIXTURE WITH SIMILAR FLOW CHARACTERISTICS			TOTAL 560

2) TOTAL DEVELOPED LENGTH OF THE WATER LINE, IIC2, FROM THE WATER METER TO THE FURTHEST WATER USING OUTLET, MULTIPLIED BY 1/2 (COMPENSATION FOR THE PRESSURE LOSS THROUGH FITTINGS) = 280' (IRC A6203.3)

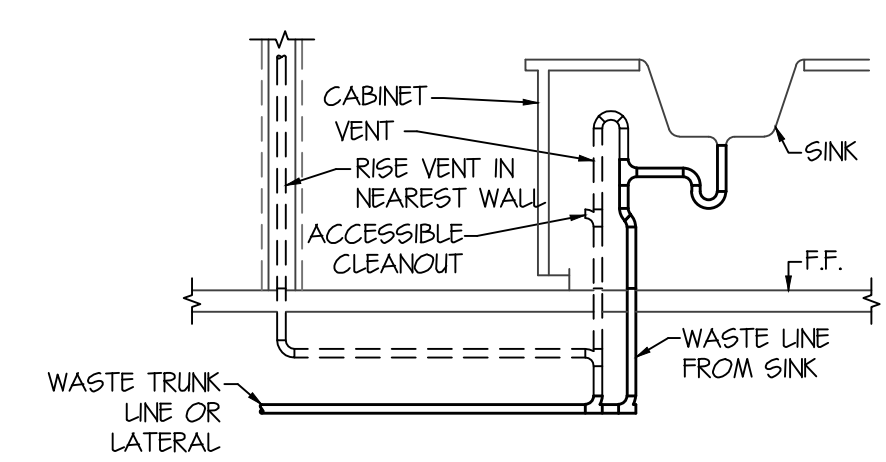
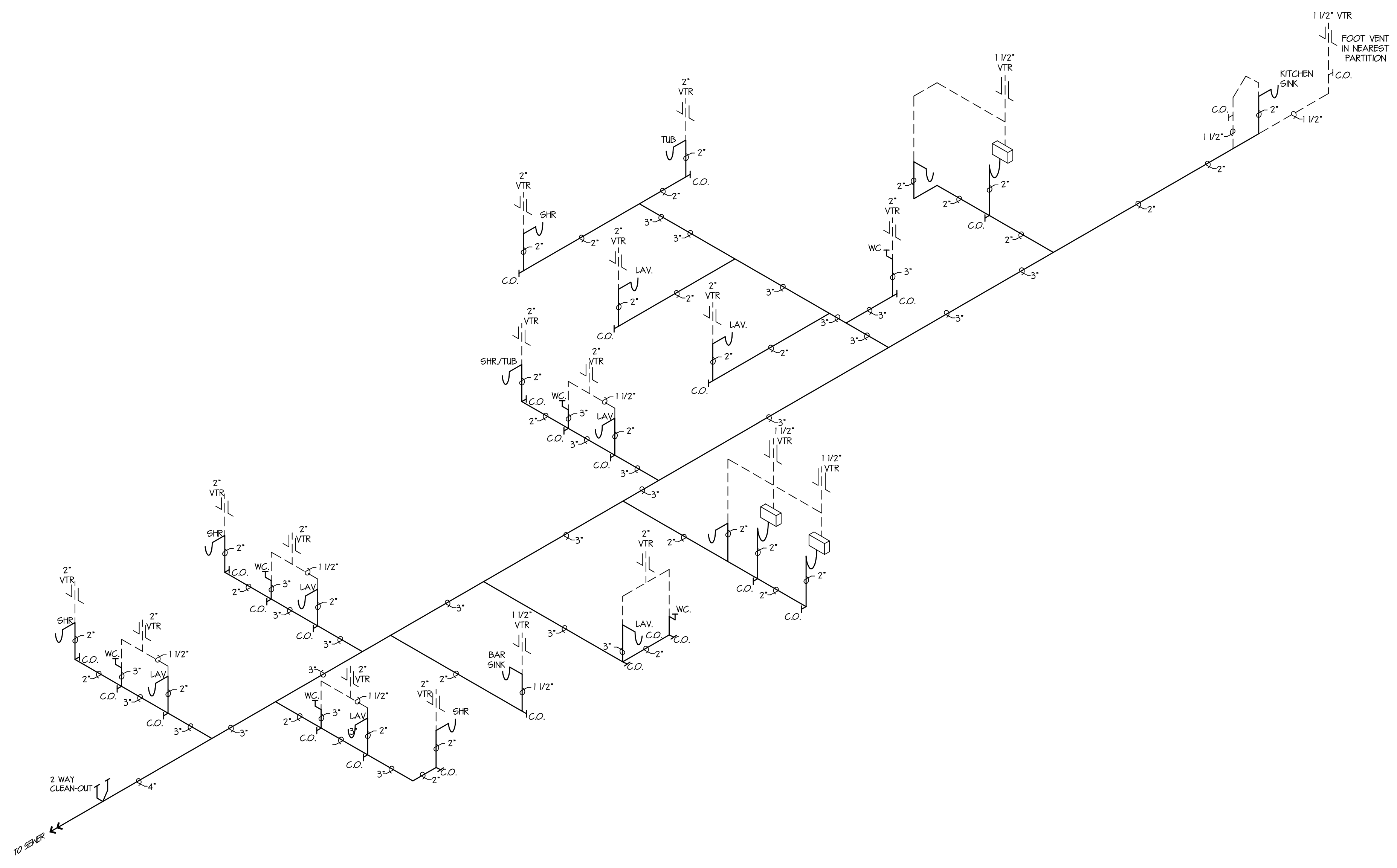
3) BASE WATER PRESSURE = _____ (PSI)

4) THE HIGHEST WATER SUPPLY OUTLET IS _____ FEET ABOVE THE ELEVATION AT THE WATER METERS.

METER SIZE: _____ VERIFY

SUPPLY SIZE: _____ VERIFY

WATER SUPPLY OUTLETS FOR ITEMS NOT LISTED ABOVE SHALL BE COMPUTED AT THEIR MAXIMUM DEMAND OR ACCORDING TO THE SIZE OF THE SUPPLY PIPE AS INDICATED IN THE INTERNATIONAL PLUMBING CODE, WHICHEVER IS GREATER.



ISLAND VENT DETAIL
N.T.S.

- WASTE ISOMETRIC**
- PLUMBING SHALL BE IN ACCORDANCE WITH THE 2015 I.P.C., 2015 I.R.C. AND ALL APPLICABLE CITY OF SCOTTSDALE ADOPTED CODES AND ORDINANCES.
 - WASTE AND VENT PIPE SHALL BE ABS PLASTIC (PVC, SCHEDULE 40)
 - THIS DIAGRAM IS FOR PIPE SIZE 1 CLEAN OUT LOCATION ONLY. SIZE PIPE ACCORDING TO I.P.C. TBL. 1071 AND 1123, I.R.C. TBL. F318
 - PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CONTROL VALVES FOR ALL SHOWER AND TUB/SHOWER COMBINATIONS.
 - ALL CLEANOUTS SHALL BE INSTALLED A MIN. OF 4" ABOVE FINISHED FLOOR.
 - PROVIDE GENERAL A POTABLE WATER SUPPLY SYSTEM SHALL BE DESIGNED AND INSTALLED IN SUCH A MANNER AS TO PREVENT CONTAMINATION FROM NONPOTABLE LIQUIDS, SOLIDS OR GASES BEING INTRODUCED INTO THE POTABLE WATER SUPPLY. CONNECTIONS SHALL NOT BE MADE TO A POTABLE WATER SUPPLY IN A MANNER THAT COULD CONTAMINATE THE WATER SUPPLY OR PROVIDE A CROSS-CONNECTION BETWEEN THE SUPPLY AND SOURCE OF CONTAMINATION UNLESS AN APPROVED BACKFLOW PREVENTION DEVICE IS PROVIDED. CROSS-CONNECTIONS BETWEEN AN INDIVIDUAL WATER SUPPLY AND A POTABLE PUBLIC WATER SUPPLY SHALL BE PROHIBITED.
 - PROVIDE SOLDERED JOINTS. SOLDERED JOINTS IN TUBING SHALL BE MADE WITH FITTINGS APPROVED FOR WATER PIPING AND SHALL CONFORM TO ASTM B 828. SURFACES TO BE SOLDERED SHALL BE CLEANED BRIGHT. THE JOINTS SHALL BE PROPERLY FLUXED AND MADE WITH APPROVED SOLDER. SOLDER AND FLUXES USED IN POTABLE WATER-SUPPLY SYSTEMS SHALL HAVE A MAXIMUM OF 0.2 PERCENT LEAD. FLUXES SHALL CONFORM TO ASTM B 818.
 - PROVIDE GENERAL. FIXTURES THAT HAVE FLOOD LEVEL SENSING LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SENER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACKFLOW OR SENSING BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS.

PLUMBING PLAN ISO
NOT TO SCALE

PATTERSON HOMES AZ, LLC
NEW SFR CUSTOM HOME
 11681 EAST COCHISE DRIVE
 SCOTTSDALE, ARIZONA

Gilbert Structural LLC
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 Mesa, Arizona 85203
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 Fax 480-398-8166

PROFESSIONAL SEAL

REVISIONS

NO.	DESCRIPTION	DATE
1	CITY COMMENTS	11.30.2021
2		
3		
4		
5		

PROJECT NUMBER: _____
 DATE: 10.21.2021

SHEET TITLE:
PLUMBING ISO
 SHEET NUMBER:
P1.0

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 PLAN CHECK# 8107-21

GENERAL INFORMATION

1. COMPLY TO I.R.C. AND NEC. FOR MECHANICAL AND ELECTRICAL EQUIPMENT LOCATION REQUIREMENTS
2. SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES IN CLOTHES CLOSET SHALL MAINTAIN 12" BETWEEN FIXTURE AND THE NEAREST POINT OF STORAGE - I.R.C. SEC. E3102.1
3. SEE GEN ARCH NOTES FOR ALL CODE AND UL REGULATIONS.
4. BATHROOM OUTLETS TO BE A MIN. OF 20 AMP BRANCH CIRCUIT WITH NO OTHER OUTLETS. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN THREE FEET OF OUTSIDE EDGE OF BATH - I.R.C. SEC. E3302.6
5. HALLWAY SMOKE DETECTORS TO BE A MINIMUM OF 3'-0" FROM RETURN AIR VENTING - PER MFR'S INSTRUCTIONS.
6. ELEC. OUTLETS AND SWITCHES BACK TO BACK IN FIRE SEPARATION WALLS MUST MAINTAIN SEPARATE BAYS OR MUST BE INSTALLED IN UL LISTED METAL BOX.
7. A MIN. OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
8. ALL 125 VOLT, 15- AND 20-AMPERE RECEPTACLES WITHIN 5'-6" OF FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
9. ALL RECESSED LUMINAIRS SHALL BE ICRATED AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND WALL/CEILING COVERING.
10. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, 50/60- PHASE, 15-AMP AND 20-AMP OUTLETS INSTALLED IN DWELLING UNIT BEDROOM ROOMS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER FOR THE ENTIRE BRANCH CIRCUIT - I.R.C. E3202.2.

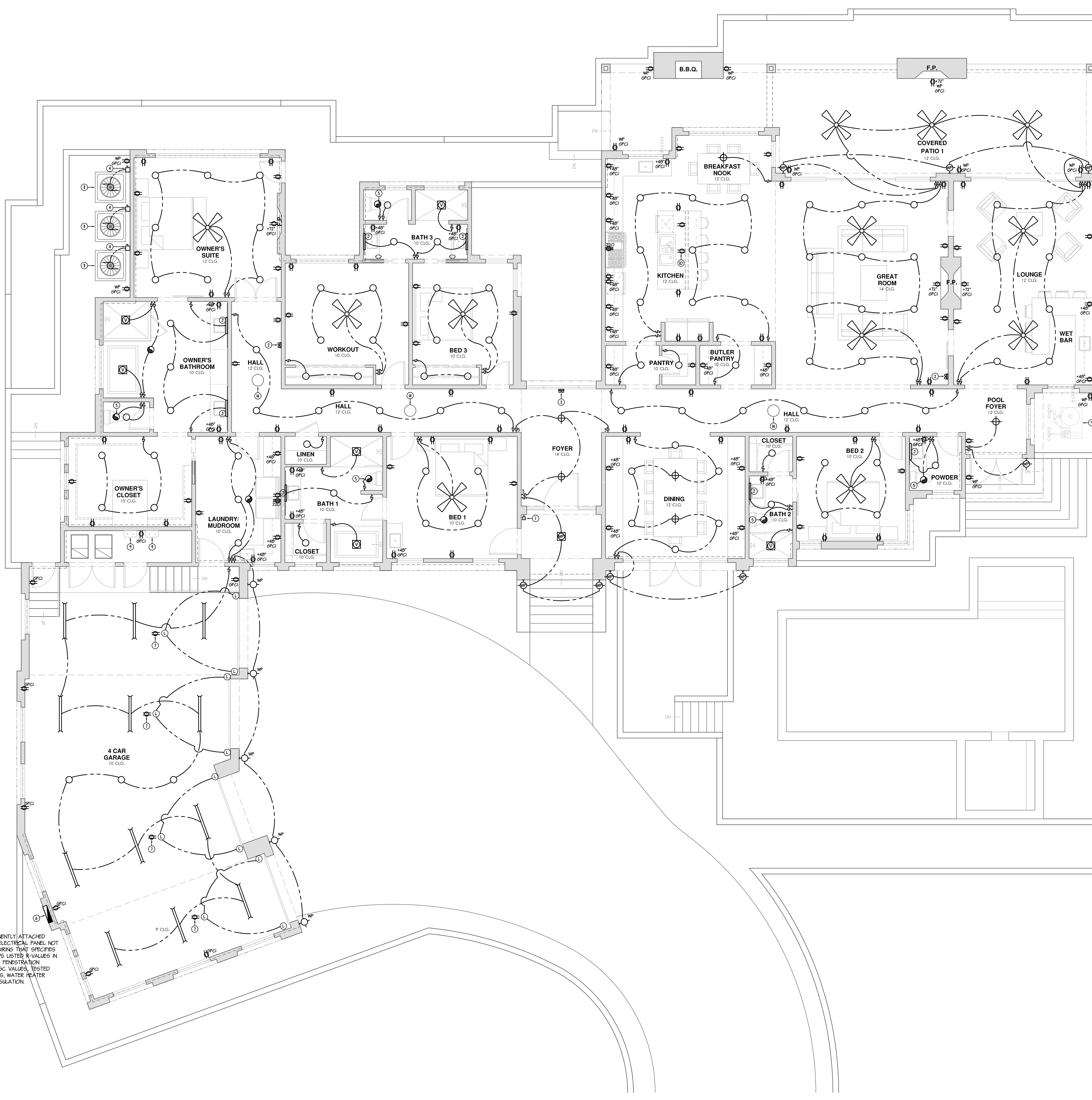
ELECTRICAL SYMBOLS

- RECESSED CAN
- ⊠ VAPOR PROOF REC. CAN
- ⊠ EXTERIOR TYPE REC. CAN
- WALL MOUNT LIGHT
- HANGING / SURFACE LIGHT
- ▽ FLOOD LIGHTS
- 2-BULB FLUORESCENT LIGHT
- SWITCH
- 3-WAY SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ SWITCHED OUTLET
- ⊕ 220v. OUTLET
- ⊕ LOW VOLTAGE OUTLET
- ⊕ JUNCTION BOX
- ⊕ TELEVISION OUTLET
- ⊕ PHONE AND/OR DATA OUTLET
- ⊕ CEILING FAN WITH REINF. J-BOX
- ⊕ EXHAUST FAN
- ⊕ FUSED DISCONNECT SWITCH
- ⊕ CHIMES @ +B4"
- ⊕ CONDENSOR MOTOR
- ⊕ PUSH BUTTON SWITCH
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR/ SMOKE DETECTOR COMBO.
- ⊕ VANITY FIXTURE

KEYNOTES

No.	DESCRIPTION
1	DOOR BELL - WIRED TO CHIMES
2	CHIMES - WIRED FROM DOOR BELL
3	RANGE AND OVEN WITH HOOD ABOVE
4	A/C COMPRESSOR DISCONNECT - COORDINATE LOCATION WITH MECHANICAL CONTRACTOR
5	EXHAUST FAN - PROVIDE MIN 5 AIR CHANGES PER HOUR SO C.F.M. FAN - UNO. ON PLAN
6	ELECTRIC SERVICE PANEL PER ELECTRICAL ENGINEERING
7	CEILING OUTLET FOR AUTOMATIC GARAGE DOOR OPENER - OPG PER I.R.C. SEC. E3102.2
8	SCOTCHIE ACCESS WITH SWITCH AND LIGHT - COORDINATE WITH MECHANICAL CONTRACTOR
9	WATER HEATER - ELECTRIC
10	20 AMP CIRCUIT BREAKER OUTLET - 1 LEG SWITCHED AT DISPOSAL, 1 LEG HOT AT DISHWASHER
11	A/C SPLIT SYSTEM - REFER TO MECHANICAL PLAN FOR SPECIFICATIONS AND UNIT LOCATIONS
12	AIR HANDLER
13	SMALL APPLIANCES PER OWNER
14	SOLAR TUBE FOR NATURAL LIGHTING
15	POOL EQUIPMENT BY OTHERS

NOTE:
 PROVIDE A PERMANENTLY ATTACHED ENERGY LABEL IN ELECTRICAL PANEL NOT OBSTRUCTED BY WIRING THAT SPECIFIES ALL OF THE HOME'S LISTED R-VALUES IN ROOF AND WALLS, FENESTRATION U-VALUES AND SHGC VALUES, TESTED INFILTRATION RATES, WATER HEATER EFFICIENCY AND INSULATION



ELECTRICAL PLAN
 SCALE: 3/16" = 1'-0" NORTH

PATTERSON HOMES AZ, LLC
 POVINELLI RESIDENCE
 9805 TALON TRAIL
 FOUNTAIN HILLS, ARIZONA 85268

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PROFESSIONAL SEAL

REVISIONS

NO.	DATE	DESCRIPTION
1	10.6.2022	CITY COMMENTS
2		
3		
4		
5		

PROJECT NUMBER:
 DATE: 8.16.2022

SHEET TITLE:
 ELECTRICAL PLAN
 SHEET NUMBER:
E1.1

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF GILBERT STRUCTURAL, LLC AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT WAS PREPARED AND PUBLICATION, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR PART IS PROHIBITED WITHOUT THEIR WRITTEN CONSENT.

STRUCTURAL NOTES

IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE 2018

GENERAL :

WHERE SPECIFIC INSTRUCTIONS IN THESE SPEC'S REQUIRE THAT A PARTICULAR PRODUCT AND/OR MATERIAL(S) BE INSTALLED AND/OR APPLIED BY AN APPROVED APPLICATOR OF THE MANUFACTURER, IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO ENSURE THE WORK BE DONE BY AN APPROVED APPLICATOR.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS UNLESS GENERAL, STRUCTURAL NOTES ARE MORE STRINGENT. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS.

TYPICAL DETAILS MAY NOT NECESSARILY BE PUT ON THE PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES, SPECIFICATIONS AND ALL APPLICABLE CODES, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. THIS OFFICE MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

ANY STRUCTURAL DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF THE PROPOSED CONSTRUCTION.

ALL PRODUCTS LISTED BY I.C.C./P.R.P. NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCT(S) LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.

THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES WILL INCLUDE, BUT NOT BE LIMITED TO BRACING AND SHORING. THE PROJECT ARCHITECT OR THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS OR METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND PROGRAMS RELATING THERE TO.

DESIGN LOADS :

ROOF LIVE LOAD = 20 P.S.F. AT 'FLAT' ROOFS, 20 P.S.F. AT TILE ROOFS
ROOF DEAD LOAD = 15 P.S.F. AT 'FLAT' ROOFS, 20 P.S.F. AT TILE ROOFS

WIND LOAD = Max 115 mph, EXPOSURE C
= Vesp 90 mph (APPLICABLE PER SEC. 1609.1.1)

SEISMIC DESIGN CATEGORY B (I.R.C. TABLE R301.2.2.1.1)

SITE WORK :

FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10 FEET TO AN APPROVED WATER DISPOSAL AREA.

FOUNDATIONS :

FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEO-TECHNICAL REPORT PREPARED BY ARIZONA ANALYTICAL INSPECTION & TESTING (A.A.I.) JOB # 201907 DATED JULY 30, 2020. ALLOWABLE BEARING PRESSURE IS 2500 PSF AT 18" BELOW FINISH GRADE.

ALL RECOMMENDATIONS IN THE GEO-TECHNICAL REPORT TAKE PRECEDENCE OVER ANY AND ALL GENERAL STRUCTURAL NOTES CONTAINED HEREIN.

PRIOR TO ANY BACK FILLING, ALL BASINMENT OR FOUNDATION WALLS ARE TO BE ADEQUATELY BRACED SO AS TO PREVENT EXCESSIVE PRESSURES DURING CONSTRUCTION, BACK FILLING AND COMPACTION. ALL BRACING TO REMAIN IN POSITION UNTIL MASONRY AND/OR CONCRETE REACHES FULL DESIGN STRENGTH.

REINFORCED CONCRETE :

(THESE NOTES DO NOT APPLY TO POST TENSION OR PRE-STRESSED CONCRETE) DESIGNS BASED ON 2500 P.S.I., HOWEVER, MAY DESIGNED AS FOLLOWS:

MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH
FOUNDATIONS = 3,000 P.S.I., TYPE II CONCRETE
WALKS, DRIVES AND EXTERIOR SLABS = 3,000 P.S.I.
MAXIMUM SLUMP = 4"

ALL PROCEDURES, PLACEMENT, FORM WORK, LAP ETC. TO CONFORM WITH LATEST A.C.I. STANDARDS, MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT THE SLABS ON GRADE NEED TO BE VIBRATED ONLY AROUND UNDER-FLOOR DUCTS, ETC.

ALL CONCRETE SLABS ON GRADE SHALL BE BOUNDED BY CONSTRUCTION JOINTS (KEYED OR SAW CUT) SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 400 SQUARE FEET. KEYED CONSTRUCTION JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING POURING. ALL OTHER JOINTS MAY BE SAW CUT OR MAY USE "ZIP-STRIPS".

REINFORCEMENT :

ASTM A615 (Fy = 60,000 P.S.I.) LATEST ACI CODE AND DETAILING MANUAL APPLY.

UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE CLEAR CONCRETE COVER PROVIDED FOR REINFORCEMENT SHALL BE :
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH : 3"

EXPOSED TO EARTH OR WEATHER:
(1) NO. 6 AND LARGER : 2"
(2) NO. 5 AND SMALLER : 1 1/2"

NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND (SLABS & WALLS) : 3/4"

BEAMS, ORDERS, COLUMNS, PRIMARY REINFORCEMENT
TIES STRIPPUS, SPIRALS : 1 1/2"

UNLESS NOTED OTHERWISE, LAP SPICES IN CONCRETE SHALL BE CLASS "B" TENSION LAP SPICES 40 BAR DIAMETER MINIMUM. STAGGER ALTERNATE SPICES A MINIMUM OF ONE LAP LENGTH. ALL SPICE LOCATIONS SUBJECT TO APPROVAL. PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF FOOTINGS AND WALLS. REINFORCING BAR SPACING GIVEN ARE MAXIMUM OR VERTICAL REINFORCING TO FOUNDATION, SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.

MASONRY VENEER SHALL BE ANCHORED WITH A MINIMUM OF ONE 2x 22 GA. GALVANIZED METAL ANCHOR FOR EACH TWO SQUARE FEET OF WALL AREA.

STRUCTURAL LUMBER :

THE WESTERN WOOD PRODUCTS ASSOCIATION OR WEST COAST LUMBER INSPECTION GRADING (MUST COMPLY WITH LATEST ADOPTED N.D.S. STANDARDS)

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF SAWN LUMBER.

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF AGENCY. ALL LUMBER SHALL BEAR AN APPROVED GRADING STAMP.

MASONRY :

CONCRETE BLOCK UNITS - Fm = 1900 P.S.I.
BRICK UNITS - GRADE A; Fm = 2500 P.S.I.
GROUT: 2000 P.S.I.
MORTAR - TYPE S: 1800 P.S.I.
PROVIDE DUR-D-WIRE AT 16" O.C. VERTICAL IN HORIZONTAL JOINTS, 9 GAUSE WIRE MINIMUM LAP REINFORCEMENT 16".
SOLID GROUT ALL MASONRY CELLS FULL HEIGHT WHERE REBARS OCCUR.

JOISTS AND HEADERS :

ALL STRUCTURAL FRAMING MEMBERS SHALL BE DFL-2 OR BETTER WITH THE FOLLOWING MINIMUM VALUES, UNLESS OTHERWISE NOTED:

Fb = 875 P.S.I.
Ft (PARALLEL TO GRAIN) = 575 P.S.I.
Fc (PERP. TO GRAIN) = 625 P.S.I.
Fc (PARALLEL TO GRAIN) = 1300 P.S.I.
Fv = 85 P.S.I.
E = 1,600,000 P.S.I.

TIMBERS :

ALL STRUCTURAL FRAMING MEMBERS SHALL BE DFL-1 OR BETTER WITH THE FOLLOWING MINIMUM VALUES, UNLESS OTHERWISE NOTED:

Fb = 1200 P.S.I.
Ft (PARALLEL TO GRAIN) = 825 P.S.I.
Fc (PERP. TO GRAIN) = 625 P.S.I.
Fc (PARALLEL TO GRAIN) = 1000 P.S.I.
Fv = 85 P.S.I.
E = 1,600,000 P.S.I.

STUDS AND POSTS :

ALL STUDS & POSTS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
MEMBER E psi (MIN.) SPECIES AND GRADE
POSTS 4x4, 4x6 1,600,000 DFL-2
POSTS 6x6, 6x8 1,600,000 DFL-1
STUDS 2x4, 3x4, 2x6 1,200,000 HEM-FIR-2 OR BETTER

INTERIOR BEARING WALLS 2x AT 16" O.C. U.N.O.

INTERIOR NON-BEARING WALLS 2x AT 24" O.C. U.N.O.

(FOR STUD SPACING AT 24" O.C., THREE-PLY PLYWOOD OR EQUAL WALL SHEATHING SHALL BE APPLIED WITH LONG DIMENSION ACROSS STUDS TO CONFORM WITH TABLE R602.3(3))

GENERAL :

ALL LUMBER SHALL BE PROPERLY STORED OFF GROUND AND ADEQUATELY PROTECTED FROM THE ELEMENTS.

CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER HAS APPROPRIATE AGENCY STAMPS.

CONTRACTOR SHALL SUPERVISE LUMBER SUPPLIER WHILE OFF LOADING LUMBER MATERIAL TO PREVENT DAMAGE, SPLITTING AND / OR BREAKING OF ANY MATERIAL.

FRAMING CONNECTORS NOTED ARE MANUFACTURED BY SIMPSON STRONG TIE COMPANY, INC. SIMPSON STRONG TIE CONNECTORS ARE SPECIFICALLY REQUIRED TO MEET THE STRUCTURAL CALCULATIONS OF THESE PLANS. BEFORE SUBSTITUTING ANOTHER BRAND THE CONTRACTOR SHALL CONFIRM THE LOAD CAPACITY BASED ON RELIABLE PUBLISHED TESTING DATA OR CALCULATIONS FROM THE SUBSTITUTION BRAND COMPANY, PRIOR TO THEIR USE.

ALL LUMBER (INCLUDING POSTS, BEAMS AND LAMINATED LUMBER) EXPOSED TO THE ELEMENTS SHALL BE PRESSURE TREATED PER I.R.C. 2018. ALL FASTENERS FOR PRESSURE TREATED LUMBER SHALL BE AS PER I.R.C. 2018.

PROVIDE DIAGONAL LET IN BRACING AT ALL EXTERIOR CORNERS AT MAXIMUM 25' O.C. USE 3/8" PLYWOOD OR EQUAL SHEAR PANEL WHERE LET IN BRACING IS NOT APPLICABLE.

NON STRUCTURAL FIRE STOPPING AND / OR DRAFT STOPPING ARE NOT INDICATED ON THE STRUCTURAL DRAWINGS AND ARE PER THE ARCHITECTURAL DRAWINGS.

GLU-LAM BEAMS :

GLU-LAM BEAMS SHALL HAVE THE FOLLOWING PROPERTIES:
Fb = 2,400 P.S.I.
Fv = 190 P.S.I.
Fc (PERP.) = 450 P.S.I. (COMB. SYM. 24FV4)
E = 1,800,000 P.S.I.

BEAMS CANTILEVERED OVER SUPPORTS SHALL HAVE THE SPECIFIED MINIMUM PROPERTIES TOP AND BOTTOM. (COMB. SYM. 24FV8)

ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE.

FABRICATION AND HANDLING PER LATEST AISC AND NCLA STANDARDS.

BEAMS TO BEAR AISC STAMP AND CERTIFICATE AND GRADE STAMP. CAMBER AS SHOWN ON DRAWINGS.

SILL PLATE :

ALL INTERIOR AND EXTERIOR WALL SILL PLATES TO CONCRETE FOUNDATION WALLS SHALL BE PRESSURE TREATED WITH MINIMUM 2x4 MEMBERS, AND ANCHORED USING 3/2" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. (MAXIMUM) OR AS SHOWN ON THE DRAWINGS, WHOEVER IS LESS. THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION SHALL TEST ANY ANCHORING METHOD SUBSTITUTION. CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER IN WRITING DESCRIBING IN DETAIL THE ALTERNATIVE ANCHORING METHOD. MINIMUM BOLTS EMBEDDED SHALL NOT BE LESS THAN 7", WITH A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF SILL PLATE, AND SHALL BE PLACED 12 INCHES OR LESS THAN SEVEN BOLT DIAMETERS FROM THE END OF EACH SECTION OF SILL PLATE PER I.R.C. 2018.

SHEATHING :

ALL PLYWOOD SHALL CONFORM TO APA STAND, PS1 AND PRP 108 EXPOSURE 1.

ICC APPROVED ORIENTED STRAND BOARD MAY BE USED IN PLACE OF PLYWOOD (PRP 108).

ALL PLYWOOD SHALL BE OF THE FOLLOWING THICKNESS, AND SHALL BE NAILED WITH COMMON NAILS AS FOLLOWS:

Table with 3 columns: Thickness, Edge Nailing, Interm Nailing. Rows for ROOF, FLOOR, and WALL.

STRUCTURAL STEEL :

ALL STRUCTURAL STEEL SHALL BE ASTM A992 (Fy = 50 KSI). ALL CHANNELS, ANGLES, AND PLATES SHALL BE ASTM A36 (Fy = 36 KSI). ALL TUBE STEEL SHALL BE ASTM A500 (Fy = 46 KSI). ALL BOLTS SHALL BE ASTM A307, UNLESS NOTED OTHERWISE. ALL CONSTRUCTION PER LATEST AISC HANDBOOK. ALL EXPANSION AND EPOXY BOLTS TO HAVE ICC RATING FOR MATERIAL INTO WHICH INSTALLATION TAKES PLACE. ALL BOLTS, ANCHOR BOLTS, EXPANSION BOLTS, ETC. SHALL BE INSTALLED WITH STEEL WASHERS AT SLOTTED HOLES IN STEEL SECTIONS. ALL WELDS SHALL BE PERFORMED BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELD SHOWN ON THE DRAWING OR NOTES. CERTIFICATES SHALL THOSE ISSUED BY AN ACCEPTED TESTING AGENCY. ALL WELDING DONE BY E70 SERIES LOW HYDROGEN RODS UNLESS NOTED OTHERWISE. FOR GRADE 60 REINFORCING BARS, USE E80 SERIES. ALL WELDING PER LATEST AMERICAN WELDING SOCIETY STANDARDS, (EXCEPT STEEL JOISTS SHALL COMPLY WITH SJI STANDARDS). THESE DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP AND FIELD WELDS. THE CONTRACTOR MAY SHOP WELD OR FIELD WELD AT HIS/HER DISCRETION. SHOP WELDS AND FIELD WELDS SHALL BE SHOWN ON THE SHOP DRAWINGS SUBMITTED FOR REVIEW. WHEN STRUCTURAL STEEL IS FURNISHED TO A SPECIFIED MINIMUM YIELD POINT GREATER THAN 36 KSI, THE ASTM OR OTHER SPECIFICATION DESIGNATION SHALL BE INCLUDED NEAR THE ERECTION MARK ON EACH SHIPPING ASSEMBLY OR IMPORTANT CONSTRUCTION COMPONENT, OVER ANY SHOP COAT OF PAINT, PRIOR TO SHIPMENT FROM FABRICATOR'S PLANT.

DEFERRED SUBMITTAL :

SHOP DRAWING SUBMITTALS REQUIRED BY THESE GENERAL STRUCTURAL NOTES WHICH CONTAIN DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER OTHER THAN THE ENGINEER OF RECORD, SHALL BE SUBMITTED DURING CONSTRUCTION TO THE CITY FIELD INSPECTOR FOR REVIEW. THE DOCUMENTS WILL BE FIRST REVIEWED BY THE ENGINEER OF RECORD AND DETERMINED TO BE IN CONFORMANCE WITH THE BUILDING DESIGN. THESE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICE.

SPECIAL INSPECTIONS:

PER THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, SPECIAL INSPECTIONS ARE REQUIRED FOR STRUCTURAL ITEMS SUCH AS:

- 1. EPOXY ANCHORS
2. EXPANSION ANCHORS
3. RETAINING WALLS

ALL PROCEDURES LISTED ABOVE REQUIRE CONSTANT ON-SITE STRUCTURAL SUPERVISION EXCEPT STRUCTURAL WELDING WHICH CAN BE DONE WHEN ALL WELDING IS COMPLETE AND PRIOR TO COVERING UP ANY WELDED ITEMS.

THE INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR THE INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.

Table R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS. Table with 4 columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER (a,b,c), SPACING AND LOCATION. Rows include ROOF, WALL, and various fastener applications.

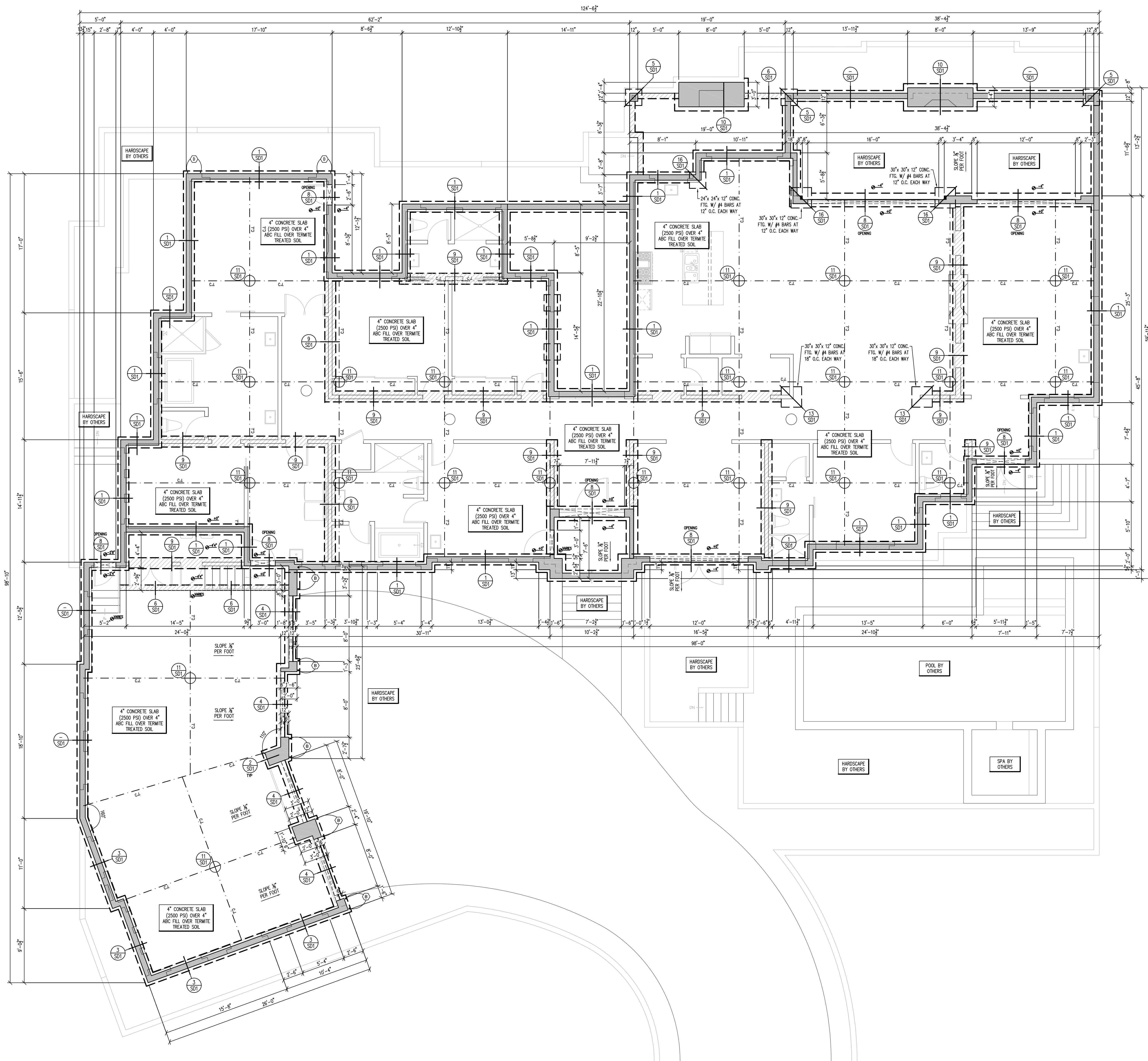
TABLE R602.3(1) - CONTINUED FASTENER SCHEDULE FOR STRUCTURAL MEMBERS. Table with 4 columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER (a,b,c), SPACING AND LOCATION. Rows include FLOOR and various fastener applications.

TABLE R602.3(1) - CONTINUED FASTENER SCHEDULE FOR STRUCTURAL MEMBERS. Table with 4 columns: ITEM, DESCRIPTION OF BUILDING MATERIALS, DESCRIPTION OF FASTENERS (a,b,c,d,e), SPACING OF FASTENERS (EDGES INCHES) and INTERMEDIATE SUPPORTS (c,d) (INCHES). Rows include WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING.

- FOR S1: 1 INCH = 25.4 mm, 1 FOOT = 304.8 mm, 1 MILE PER HOUR = 0.447 m/s, 1 KI = 0.454 MPa
a. NAILS ARE SMOOTH-CROWN, BOX OR DEFORMED SHANKS, EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 kb (250 MPa) FOR SHANK DIAMETER OF 0.152 INCH (3.96 COMMON NAIL, 90 kb (300 MPa) FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 kb (333 MPa) FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.
b. STAPLES ARE 16 GAUGE WIRE AND HAVE A MINIMUM 3/4" ON DIAMETER CROWN WIDTH.
c. NAILS SHALL BE SPACED AT NO MORE THAN 6" O.C. AT ALL SUPPORTS WHERE SPANS ARE 48" OR GREATER.
d. 4'-0" X 8'-0" OR 4'-0" X 8'-0" PANELS SHALL BE APPLIED VERTICALLY.
e. SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" O.C. FOR A MINIMUM 48" DISTANCE FROM EDGES, EAVES AND CABLE END WALLS, AND 4" O.C. TO CABLE END WALL FRAMING.
f. SIPRUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FERROBOARD SHEATHING SHALL CONFORM TO ASTM C 228.
g. SIPRUM FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.
h. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TWO NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THE SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

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REVISIONS
PROJECT NUMBER:
DATE: 8.16.2022
SHEET TITLE:
GENERAL STRUCTURAL NOTES
SHEET NUMBER:
GSN



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

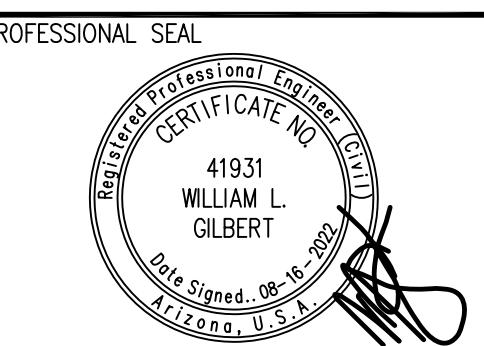
- FOUNDATION NOTES**
1. REFER TO STRUCTURAL NOTES PAGE FOR MATERIAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS NOT LISTED BELOW.
 2. ALL CONSTRUCTION AND FOUNDATION WORK SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF ALL APPLICABLE BUILDING CODES.
 3. IDENTIFY ALL FOUNDATION DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
 4. ALL WOOD PLATES THAT ANCHOR TO THE FOUNDATION SHALL BE PRESSURE TREATED OR FLAMMATION RESISTANT.
 5. COORDINATE FOUNDATION PLAN WITH SHEARWALL PLAN FOR LOCATION OF HOLDINGS AND SHEARWALL ANCHOR BOLT SPACING.
 6. CONTRACTOR TO PLACE CONTROL JOINTS AS INDICATED ON THE FOUNDATION PLAN WHERE APPLICABLE.
 7. TYPICAL ANCHOR BOLT 1/2"x1/2" LONG AT 30" O.C. UNLESS NOTED OTHERWISE ON PLAN. ALL WOOD SILL PLATES SHALL HAVE MIN. OF 2 ANCHOR BOLTS PER PLATE. ANCHOR BOLTS SHALL BE LOCATED NOT LESS THAN 4" NOR MORE THAN 12" FROM END OF PLATE OR AT PLATE SPlice. ANCHORS USED FOR HOLDINGS SHALL NOT BE CONSIDERED IN PLACING ANCHOR BOLTS. REFER SHEAR WALL LAYOUT PLAN FOR THE SPACING OF ANCHOR BOLTS AT THE LOCATION OF SHEAR PANELS. COMPASS WISA ANCHORS OR STRONG BOLT 2" x 1/2" LDT OR EXPANSION ANCHORS (MIN. 2" EMBED.) W/ 1/2" x 2" x 1/2" EMBEDED JEB, PROVIDED THEY ARE INSTALLED AT THE SAME SPACING INDICATED IN THE NOTES, DETAILS OR SCHEDULES OF THIS PLAN.

HOLDOWN SCHEDULE		
MARK	TYPE	DESCRIPTION
B	STRONG	USE STRONG [WITH (2) 1/2" x 1/2" WIDER WALLS]
C	HT-5	USE HT-5 [WITH (2) 1/2" x 1/2" WIDER WALLS] 1/2" x 1/2" STRONG-BOLT 2 WITH 3/4" OMBED (FOR BR307)
D	STRONG	USE STRONG [WITH (2) 1/2" x 1/2" WIDER WALLS]

NOTES:
 ALL HOLDINGS SHALL BE ATTACHED TO DOUBLE FULL HEIGHT STRIP WALL.
 * USE CARBON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED (E38-307)
 ** SEE DETAIL 17/252 FOR RETROFIT HOLDOWN APPLICATION
 #4 REBAR REQUIRED FOR HOLDINGS DETAIL #4 W/ 1/2" x 1/2" WIDER WALLS ONLY.
 RETAIL PER MANUFACTURER'S RECOMMENDATIONS.

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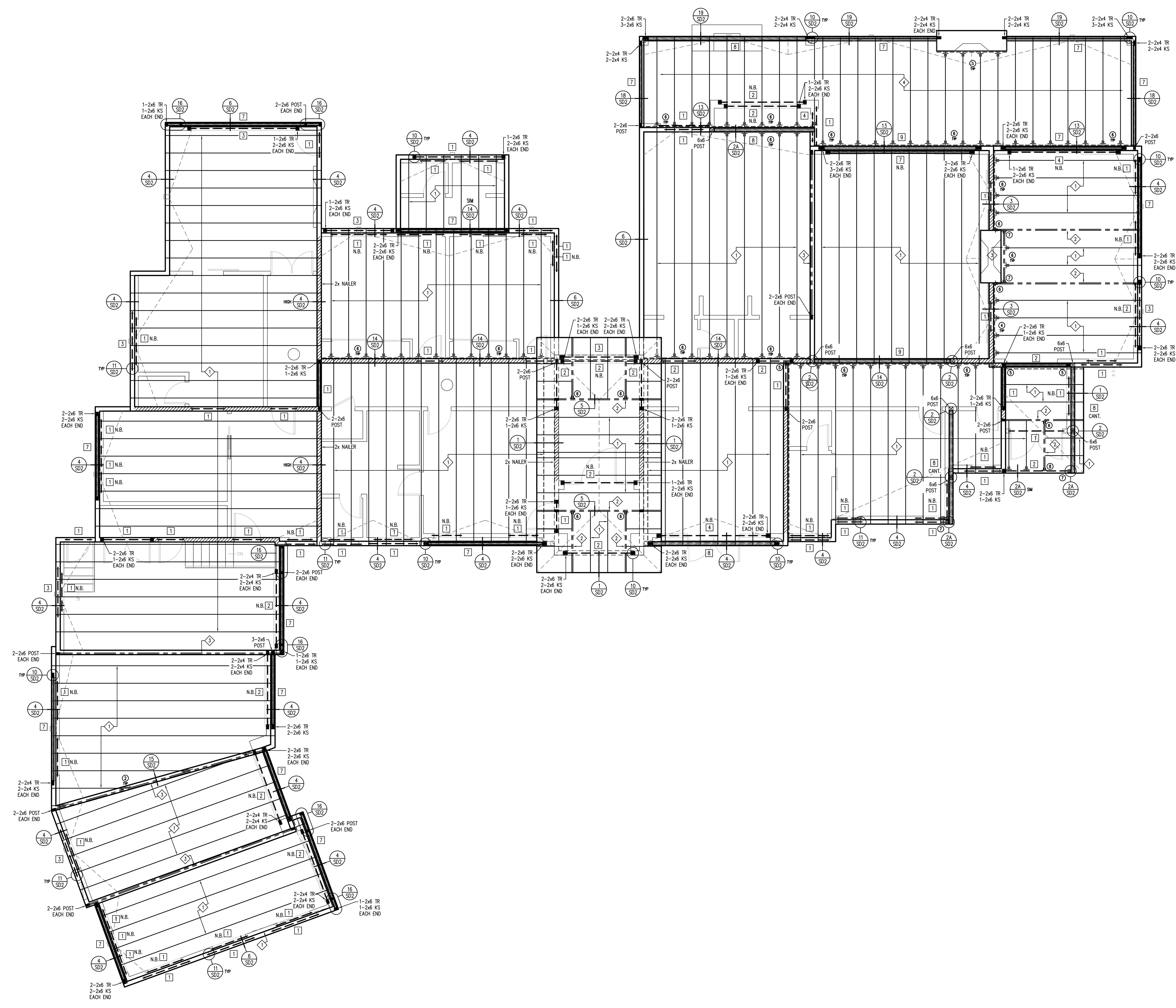


REVISIONS:
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PROJECT NUMBER:
 DATE: 8.16.2022

SHEET TITLE:
FOUNDATION LAYOUT
 SHEET NUMBER:
S1.0

WOOD TRUSS NOTE:
 PREFABRICATED WOOD TRUSSES TO BE PROVIDED BY AN
 APPROVED FABRICATOR. TRUSS DIAGRAMS AND LAYOUT SHALL
 BE AVAILABLE TO THE FIELD INSPECTOR AT THE JOB SITE AT
 THE TIME OF FRAMING INSPECTION.



LEGEND:

	BEARING WALL
	2-2x POST (U.N.O.)

HANGER SCHEDULE

①	LUS26
②	THASR/L29
③	LTHJ
④	HUS26
⑤	HGUS26-2
⑥	LUS210
⑦	HUC26-2

BEAM SCHEDULE

[1]	(2) 2x6 DFL #2 OR 4x6
[2]	2x8 DFL #2 OR 4x8
[3]	(2) 2x10 DFL #2 OR 4x10
[4]	(2) 2x12 DFL #2 OR 4x12
[5]	(1) 3/4" x 9" GLB
[6]	(1) 3/4" x 10 1/2" GLB
[7]	(1) 3/4" x 12" GLB
[8]	(1) 5/8" x 12" GLB
[9]	(1) 5/8" x 15" GLB

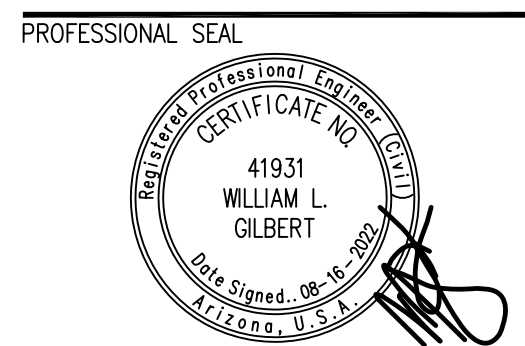
TRUSS SCHEDULE

	TAPERED TOP CHORD FLAT ROOF TRUSSES AT 24" O.C.
	TAPERED TOP CHORD FLAT ROOF GRIER TRUSS
	BOX GRIER TRUSS
	2x12 DF#2 RAFTERS AT 24" O.C.

- FRAMING NOTES
- REFER TO STRUCTURAL NOTES PAGE FOR MATERIAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS NOT LISTED BELOW.
 - ALL FRAMING AND ANCHORS SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF THE BUILDING CODE.
 - EXTERIOR WALLS TO BE 2x STUDS AT 16" O.C., TYPICAL, U.N.O.
 - INTERIOR BEARING WALLS TO BE 2x STUDS AT 16" O.C., U.N.O.
 - INTERIOR PARTITION WALLS TO BE 2x STUDS AT 24" O.C., TYPICAL, U.N.O.
 - ALL POSTS TO BE 2-2x THE WALL THICKNESS, U.N.O.
 - SINGLE TRIMMER IS TO BE PROVIDED UNDER THE ENDS OF ALL BEAMS AND HEADERS, U.N.O.
 - ALL JOISTS SHALL BEAR A MINIMUM OF 2" ON ALL BEAMS OR WALL PLATES.
 - PROVIDE H2-S7 TIE AT EACH TRUSS ALONG INTERIOR BEARING WALLS.
 - METAL CONNECTORS, HANGERS AND TIES TO BE "SIMPSON STRONG-TIE" OR APPROVED EQUAL.
 - ALL ROOF TRUSSES SHALL BE AT 24" O.C. U.N.O.
 - ALL TRUSSES AND STRUCTURAL MEMBERS SHALL BE BRACED, BLOCKED AND SUPPORTED AT ALL TIMES DURING CONSTRUCTION.
 - TRUSS MANUFACTURER TO COORDINATE WITH MECHANICAL AND ARCHITECTURAL DRAWINGS FOR EXACT WEIGHT AND LOCATION OF MECHANICAL EQUIPMENT.
 - SEE MECHANICAL AND ARCHITECTURAL PLANS FOR LOCATIONS OF SOFFITS AND LOWERED SOFFITS.
 - PROVIDE BLOCK-OUTS IN ROOF FOR FIREPLACE FLUES, PLUMBING, ETC. VERIFY LOCATIONS OF FIREPLACE FLUES PRIOR TO CONSTRUCTION.
 - PROVIDE CROSS BLOCKING AND 1/2" PLYWOOD BACKING AT ALL CEILING FAN LOCATIONS.
 - REFER TO ARCHITECTURAL FLOOR AND/OR ROOF PLANS FOR ATTIC ACCESS LOCATIONS AND CODE REQUIREMENTS.
 - PROVIDE 2x BLOCKING AT ALL HIPS AND RIDGES FOR PANEL EDGE NAILING REFER TO ENGINEERING SPECIFICATIONS.
 - PROVIDE SMP, STCT CLIP AT ALL TRUSSES TO EXTERIOR NON-BEARING WALLS.
 - SIMPSON H2-S7 OR RSP4 NOT REQUIRED AT TOP OR BOTTOM PLATE CONNECTIONS IF OSB IS INSTALLED AT THAT LOCATION.
 - 16-GAUGE 1 3/4" LONG (2" CROWN) STAPLES MAY BE USED IN LIEU OF 8d NAILS FOR ROOF SHEATHING CONNECTIONS. SAME SPACING APPLIES TO BOTH 8d NAILS AND 16-GAUGE STAPLES.
 - ORDER TRUSS POST REQUIREMENTS:
 - SINGLE PLY GRIER TRUSS - USE 1-2x (WALL THICKNESS) U.N.O.
 - TWO PLY GRIER TRUSS - USE 2-2x (WALL THICKNESS) U.N.O.
 - THREE PLY GRIER TRUSS - USE 3-2x (WALL THICKNESS) U.N.O.

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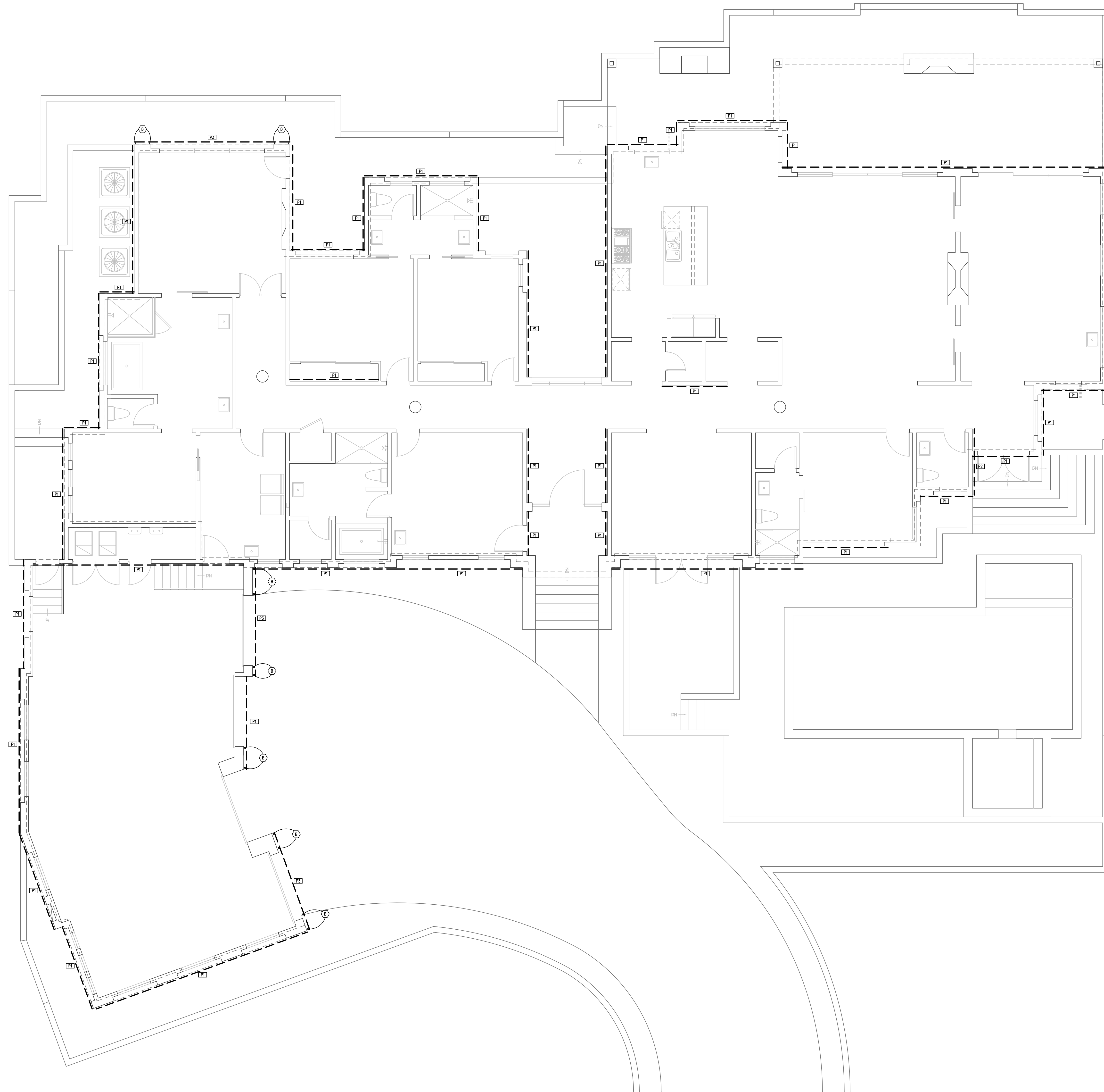
REVISIONS

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PROJECT NUMBER:
 DATE: 8.16.2022

SHEET TITLE:
FRAMING LAYOUT
 SHEET NUMBER:
S2.0

ROOF FRAMING PLAN
 SCALE: 3/16" = 1'-0"



SHEARWALL PLAN

SCALE: 3/16" = 1'-0"

SHEATHING NOTE:
ALL EXTERIOR WALLS TO BE SHEATHED WITH P1 FROM SHEATHING SCHEDULE UNLESS NOTED OTHERWISE.

SHEATHING SCHEDULE	
MARK	DESCRIPTION
P1	3/4" PLYWOOD/OSB #754 AT 4" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" X 10" ANCHOR BOLTS AT 32" O.C. (INTERIOR): 1/2" # SMP, STRONG-BOLT 2 A.B. AT 32" O.C. (EMBED 2 1/2" MIN. ESR-3037)
P2	3/4" PLYWOOD/OSB #760 AT 4" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" X 10" ANCHOR BOLTS AT 24" O.C. (INTERIOR): 1/2" # SMP, STRONG-BOLT 2 A.B. AT 24" O.C. (EMBED 2 1/2" MIN. ESR-3037)
P3	3/4" PLYWOOD/OSB #766 AT 3" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" X 10" ANCHOR BOLTS AT 16" O.C. (INTERIOR): 1/2" # SMP, STRONG-BOLT 2 A.B. AT 16" O.C. (EMBED 2 1/2" MIN. ESR-3037)
P4	3/4" PLYWOOD/OSB #766 AT 2" O.C. EDGES /12" O.C. FIELD (BLOCKED) (EXTERIOR): 1/2" X 10" ANCHOR BOLTS AT 12" O.C. (INTERIOR): 1/2" # SMP, STRONG-BOLT 2 A.B. AT 12" O.C. (EMBED 2 1/2" MIN. ESR-3037)

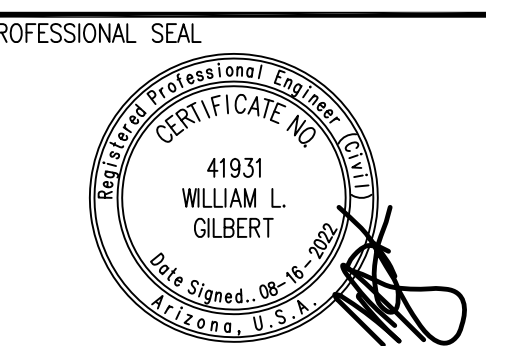
ALL SHEARWALLS TO HAVE DOUBLE TOP PLATES AND 2x STUDS AT 16" O.C. - U.N.G.
 * FRAMING AT ADJOINING PANEL EDGES SHALL BE 3" NOMINAL OR WOOD, AND NAILS SHALL BE STAGGERED WHERE NAILS ARE SPACED LESS THAN 3" O.C.
 ** USE CARBON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED. (ESR-3037)
 *** AS AN ALTERNATE TO WET-SET ANCHOR BOLTS AND STRONG-BOLT 2 ANCHORS, SIMPSON TITEN-HD ANCHOR BOLTS MAY BE USED PROVIDED THE SAME SPACING IS ADHERED TO AS STATED IN THE SCHEDULE ABOVE. THE ANCHORS SHALL BE 1/2" # x 5" WITH A MINIMUM EMBEDMENT OF 3x (ESR-2715).
 **** AS AN ALTERNATE TO 5x COOLER NAILS, #6 1/2" TYPE "W" DRYWALL SCREWS MAY BE USED. AS AN ALTERNATE TO 6x COOLER NAILS, #6 1 1/2" TYPE "W" DRYWALL SCREWS MAY BE USED. SAME SPACING APPLIES PER SCHEDULE.

HOLDOWN SCHEDULE		
MARK	TYPE	DESCRIPTION
B	STD10	USE STD10 [WITH (28) 16d SINKER NAILS]
C	HTT-5	USE HTT5 [WITH (26) 10d SINKER NAILS] 3/4" STRONG-BOLT 2 WITH 5-1/2" EMBED (ESR #3037)
D	STD14	USE STD14 [WITH (38) 16d SINKER NAILS]

NOTES:
ALL HOLDOWNS SHALL BE ATTACHED TO DOUBLE FULL HEIGHT STUD (MIN.)
 * USE CARBON STEEL FOR STRONG-BOLT 2 AND SPECIAL INSPECTION REQ. ONLY WHEN SPECIFIED (ESR-3037)
 ** SEE DETAIL 12/201 FOR RETROFIT HOLDOWN APPLICATION
 *** REBAR REQUIRED FOR HOLDOWNS INSTALLED AT RAISED CURB LOCATIONS ONLY.
 INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

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REVISIONS

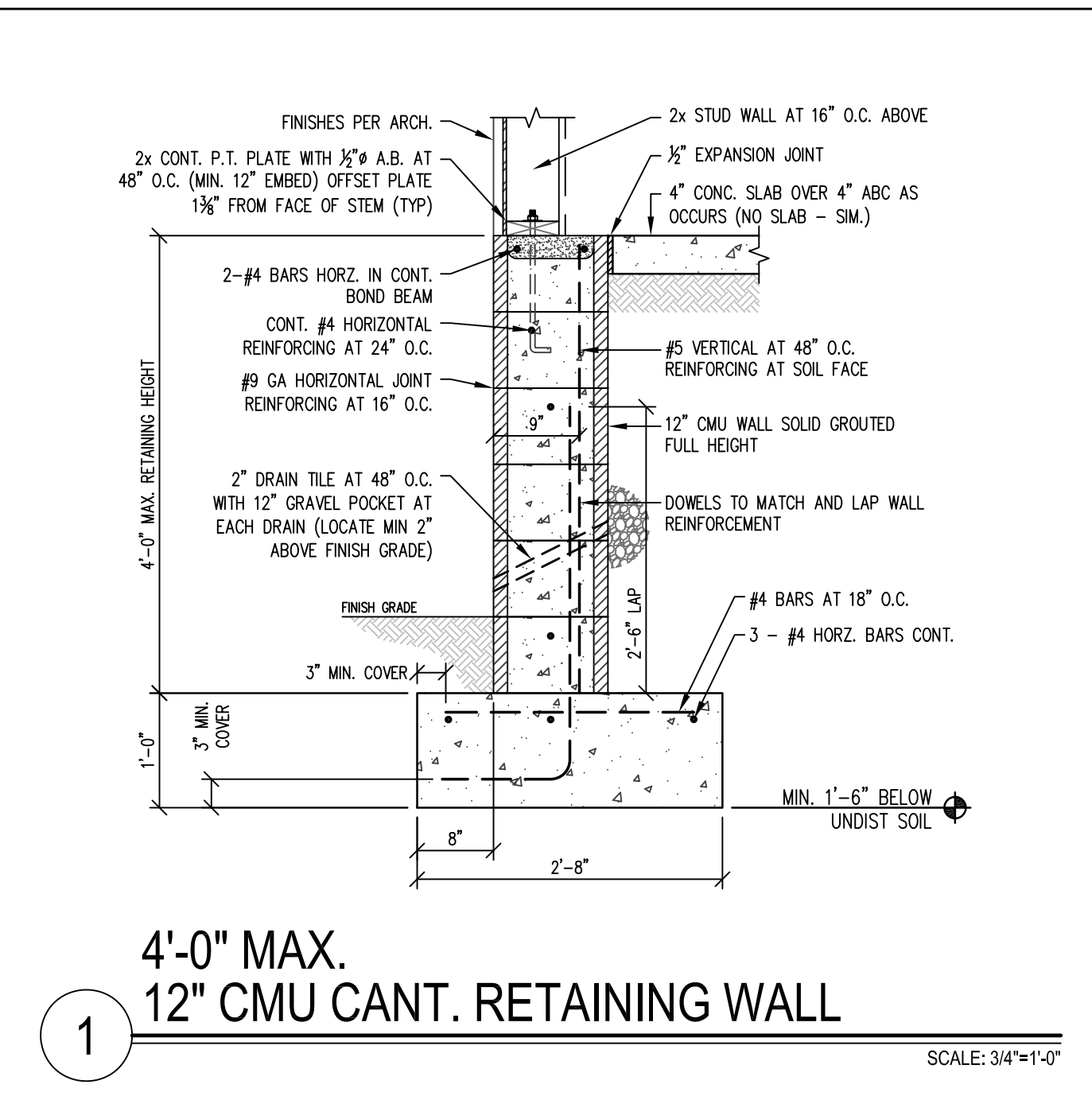
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PROJECT NUMBER:
DATE: 8.16.2022

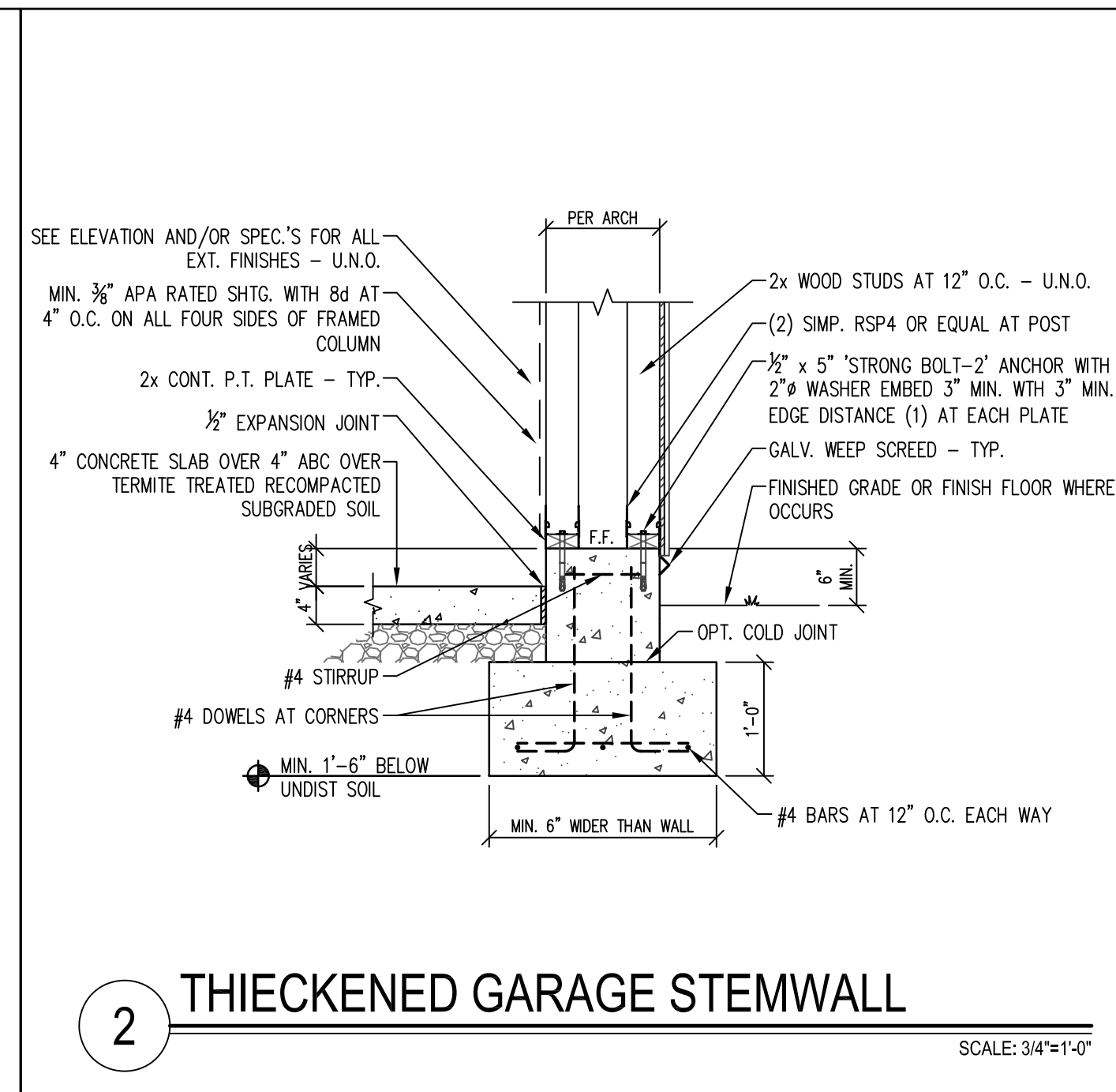
SHEET TITLE:
SHEARWALL LAYOUT
SHEET NUMBER:

S3.0

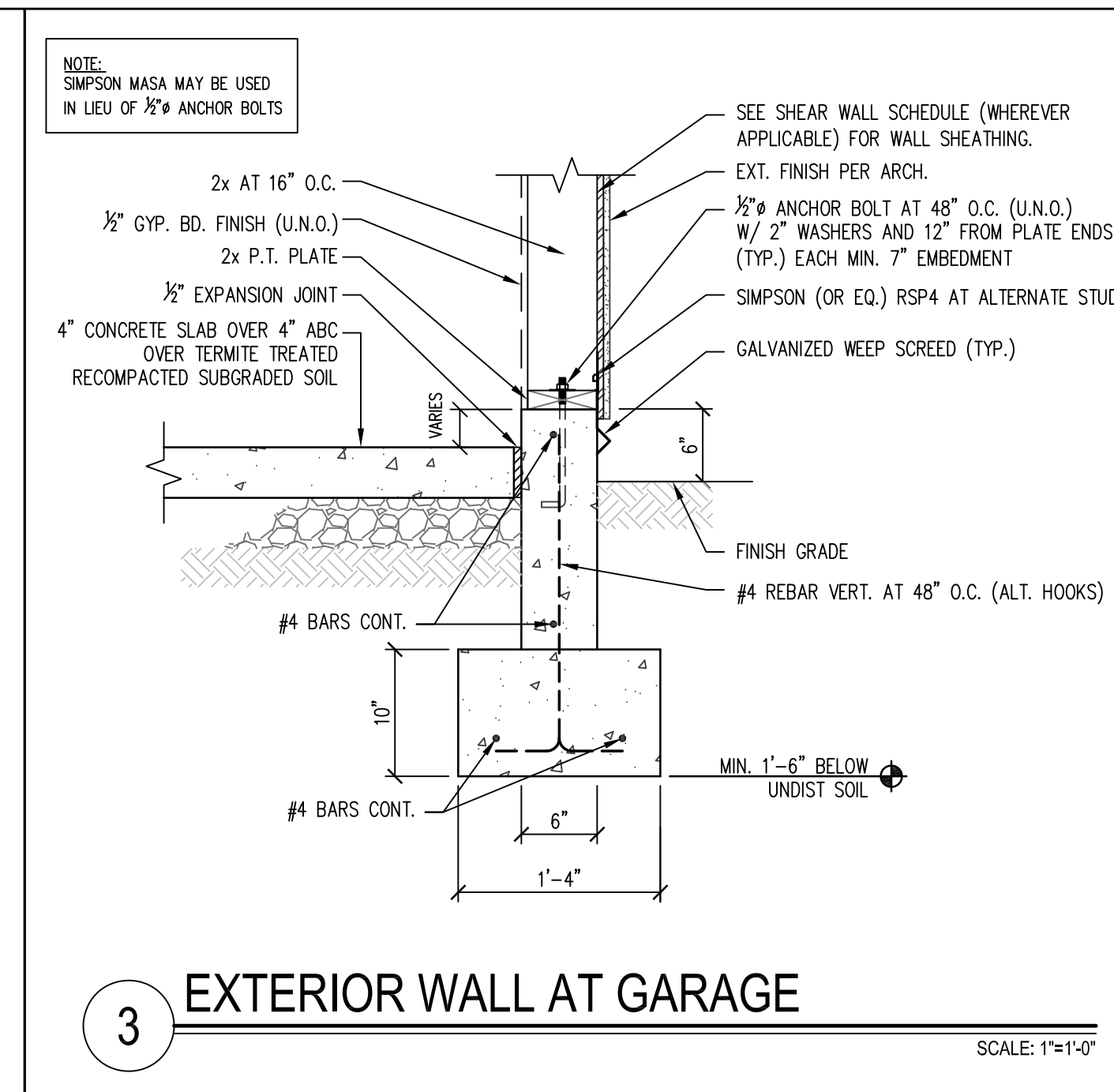
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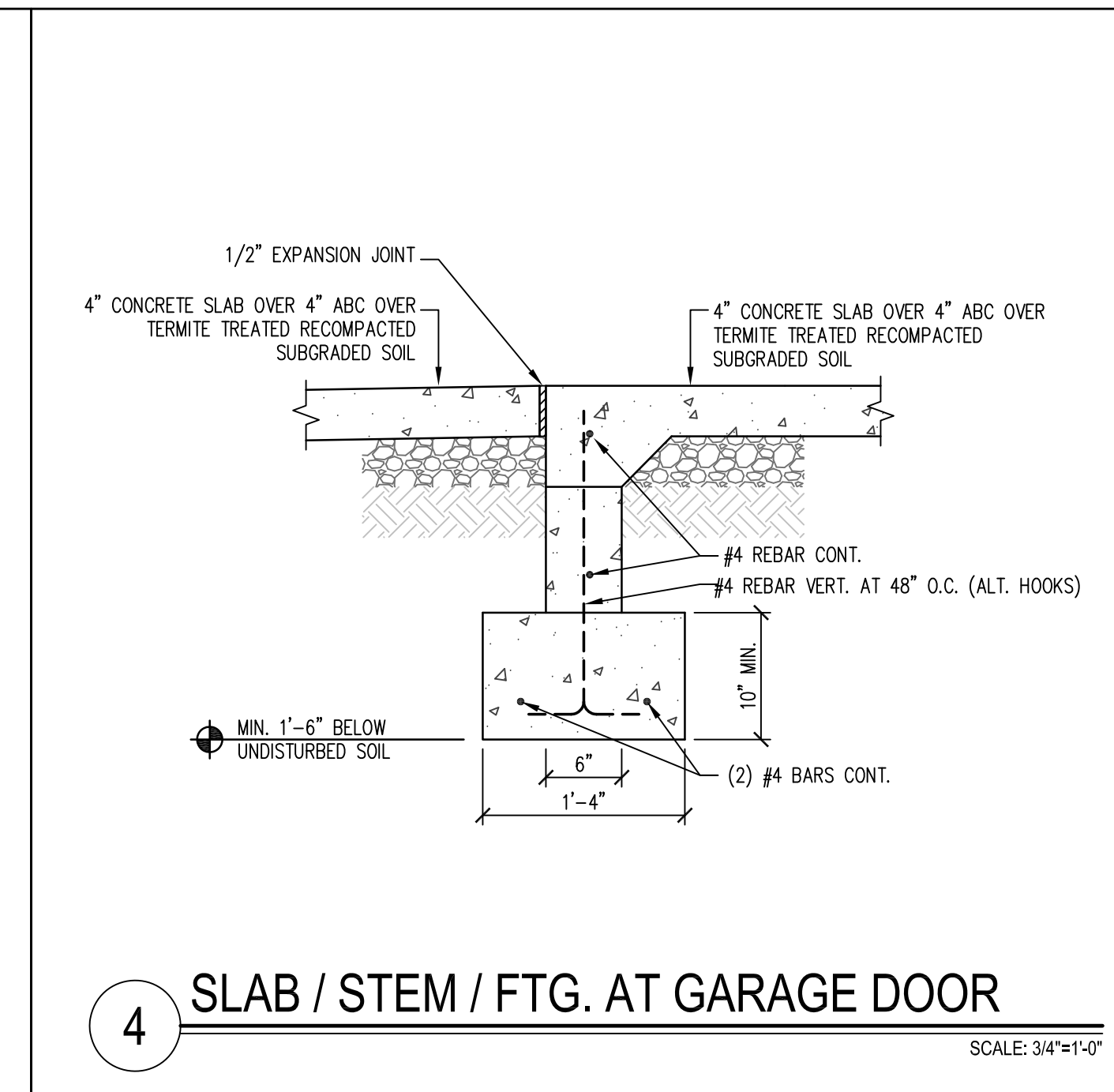
1 4'-0" MAX. 12" CMU CANT. RETAINING WALL SCALE: 3/4"=1'-0"



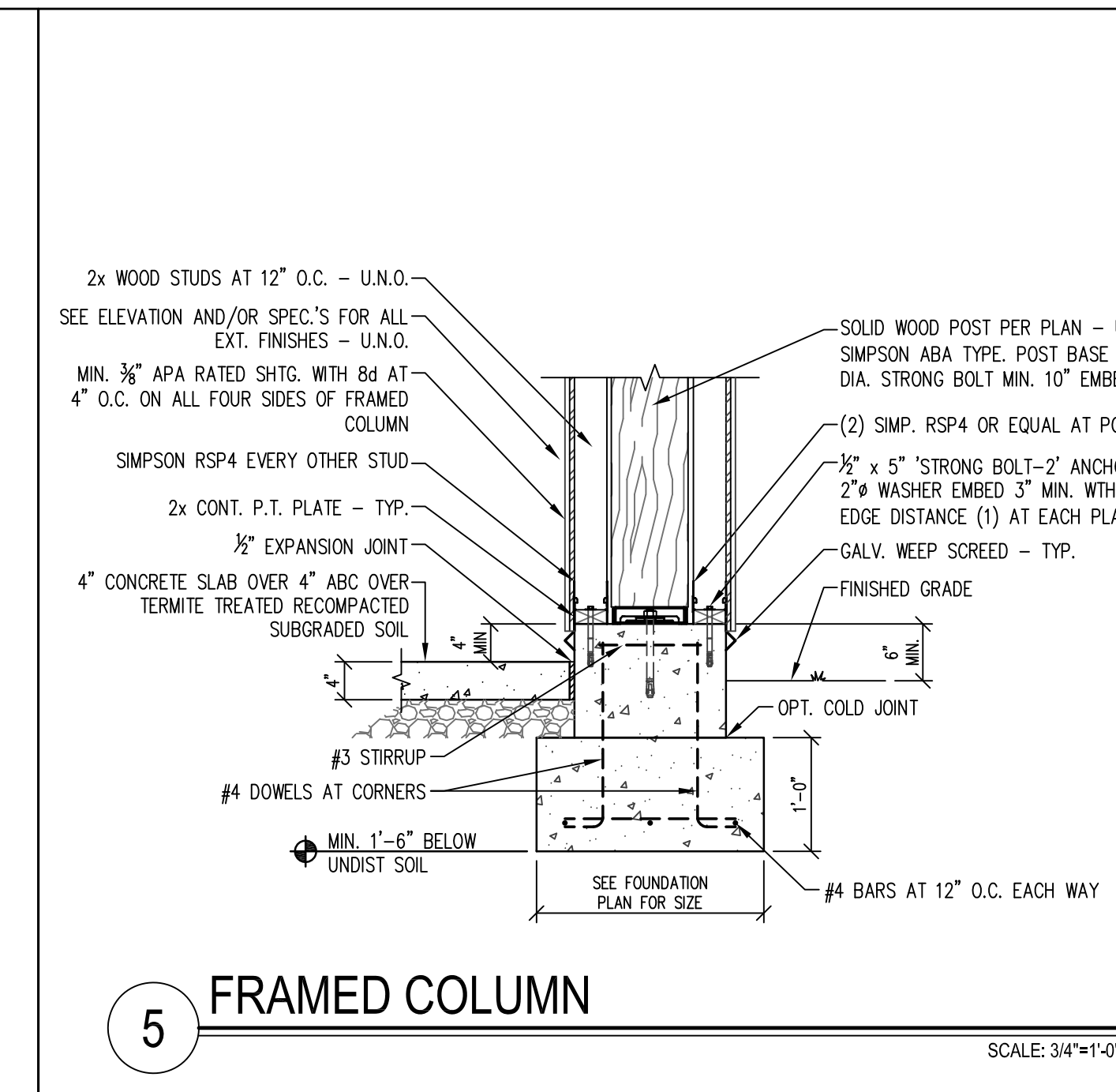
2 THIECKENED GARAGE STEMWALL SCALE: 3/4"=1'-0"



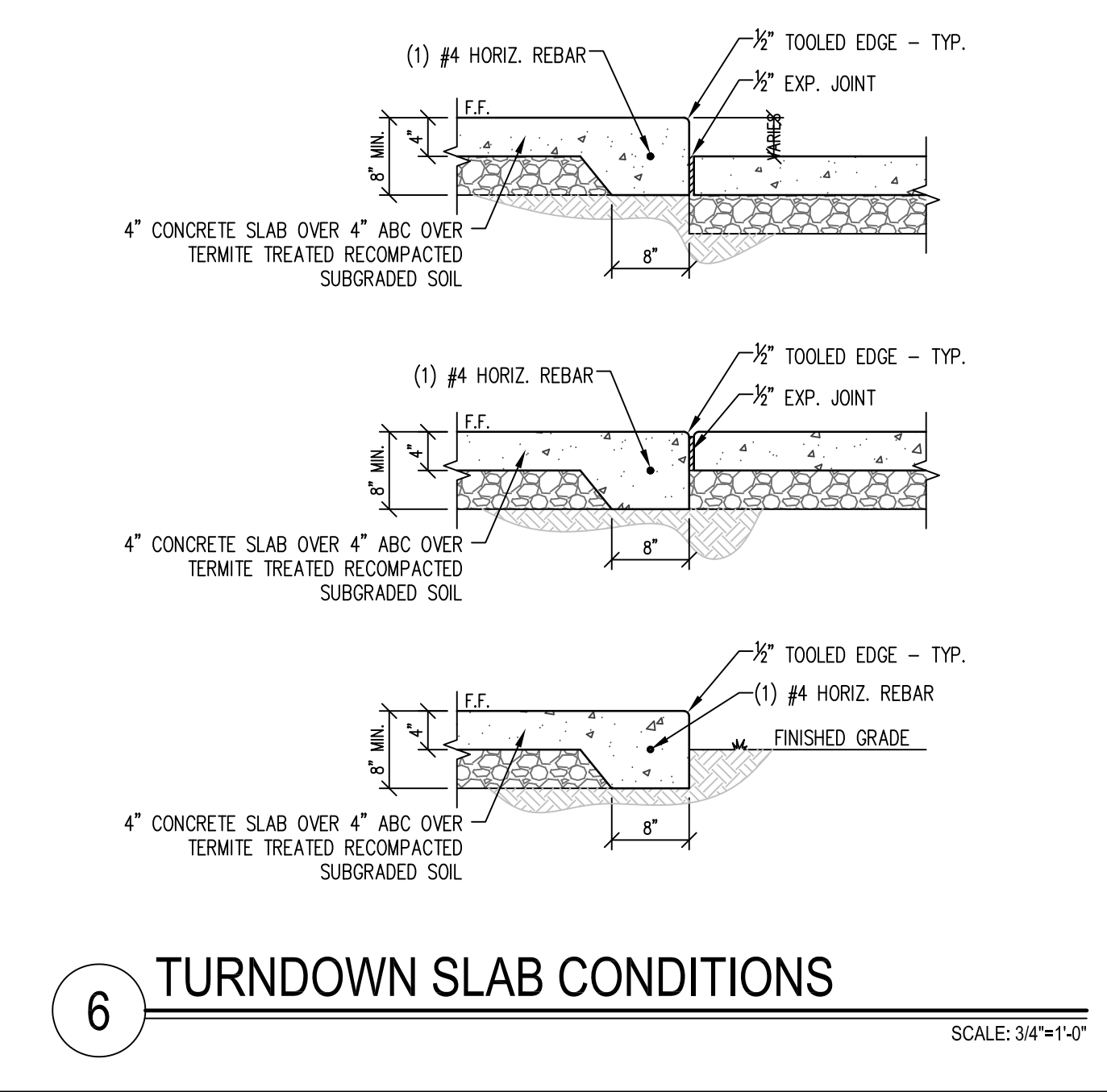
3 EXTERIOR WALL AT GARAGE SCALE: 1"=1'-0"



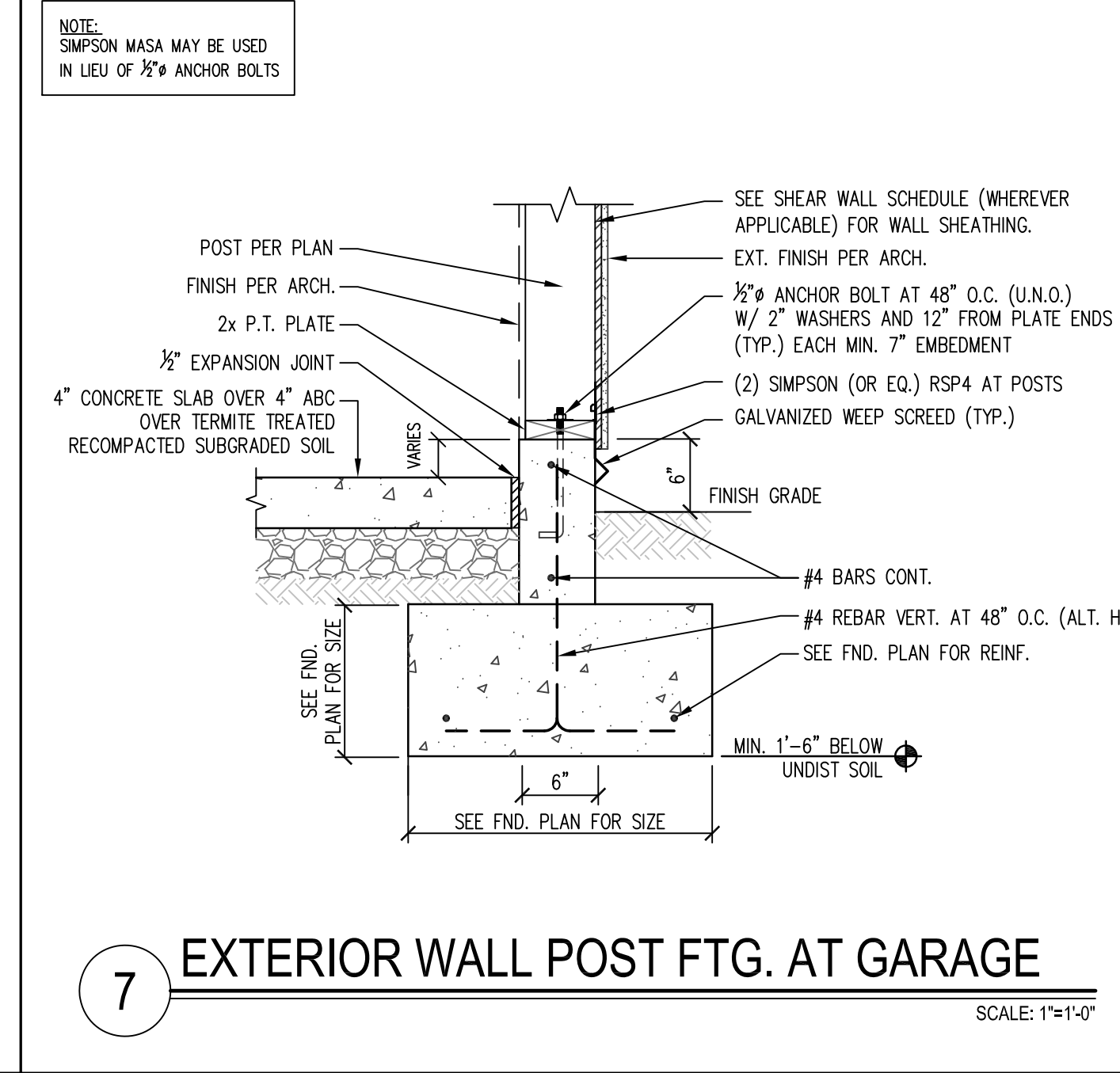
4 SLAB / STEM / FTG. AT GARAGE DOOR SCALE: 3/4"=1'-0"



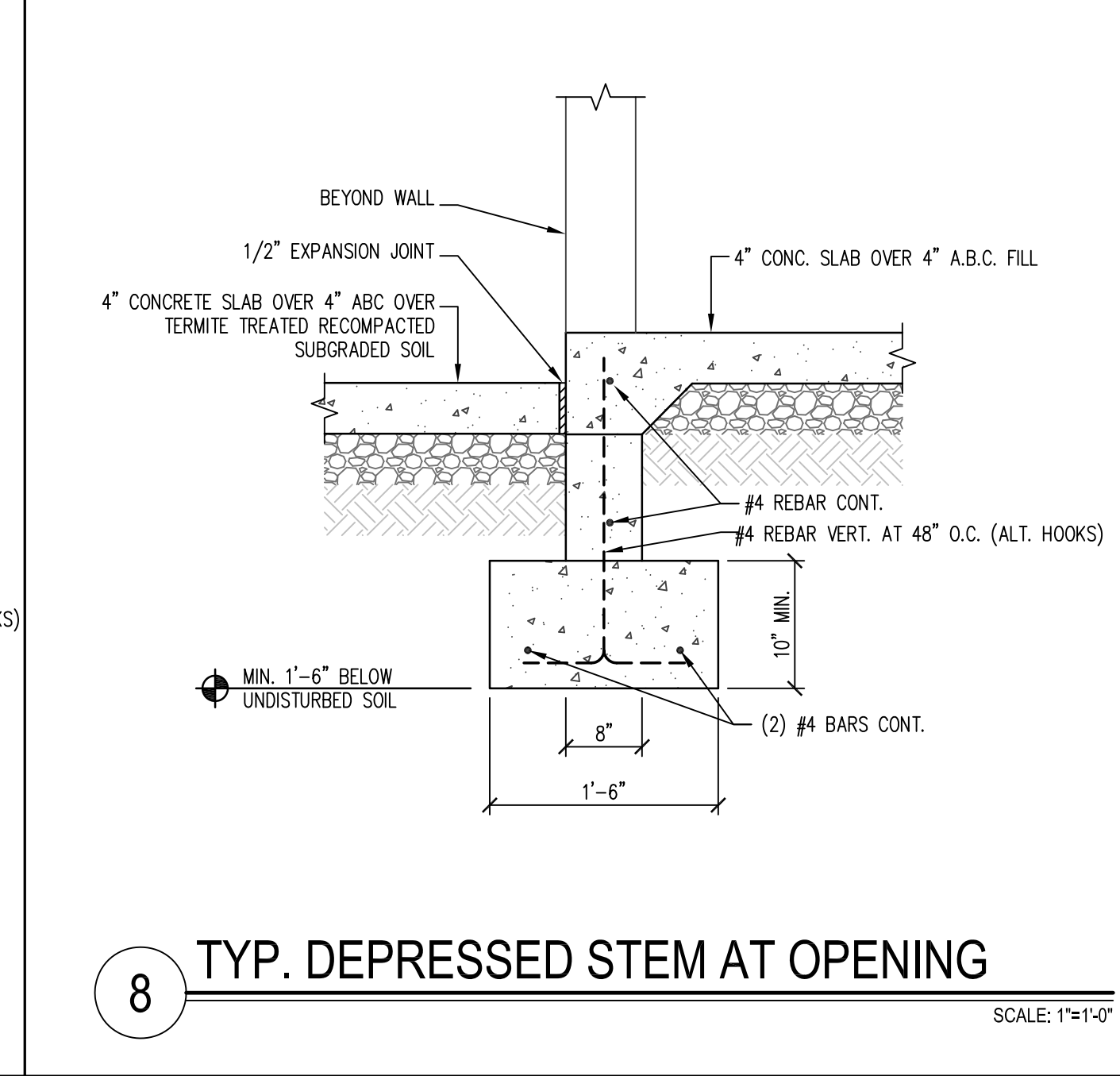
5 FRAMED COLUMN SCALE: 3/4"=1'-0"



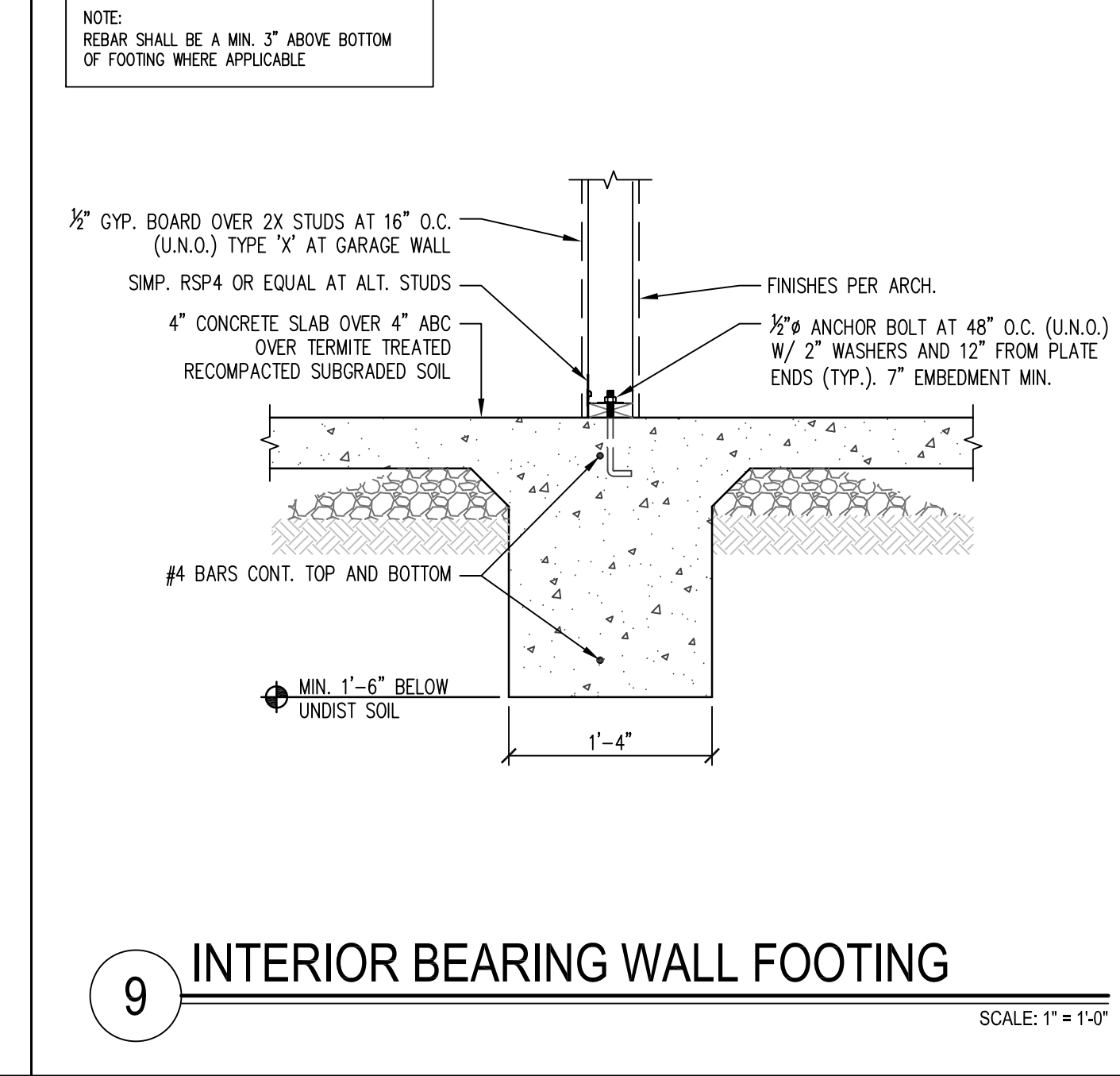
6 TURNDOWN SLAB CONDITIONS SCALE: 3/4"=1'-0"



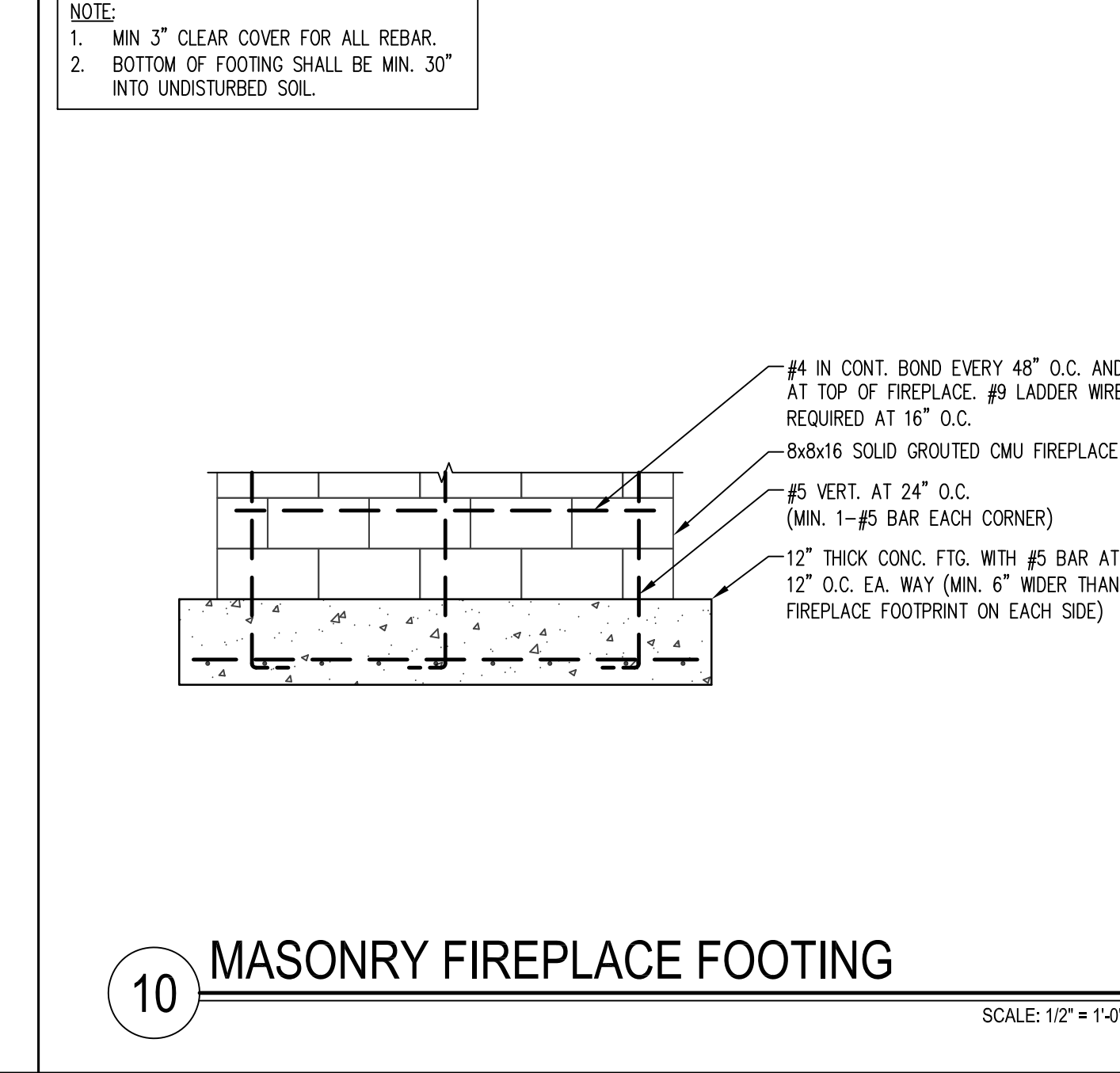
7 EXTERIOR WALL POST FTG. AT GARAGE SCALE: 1"=1'-0"



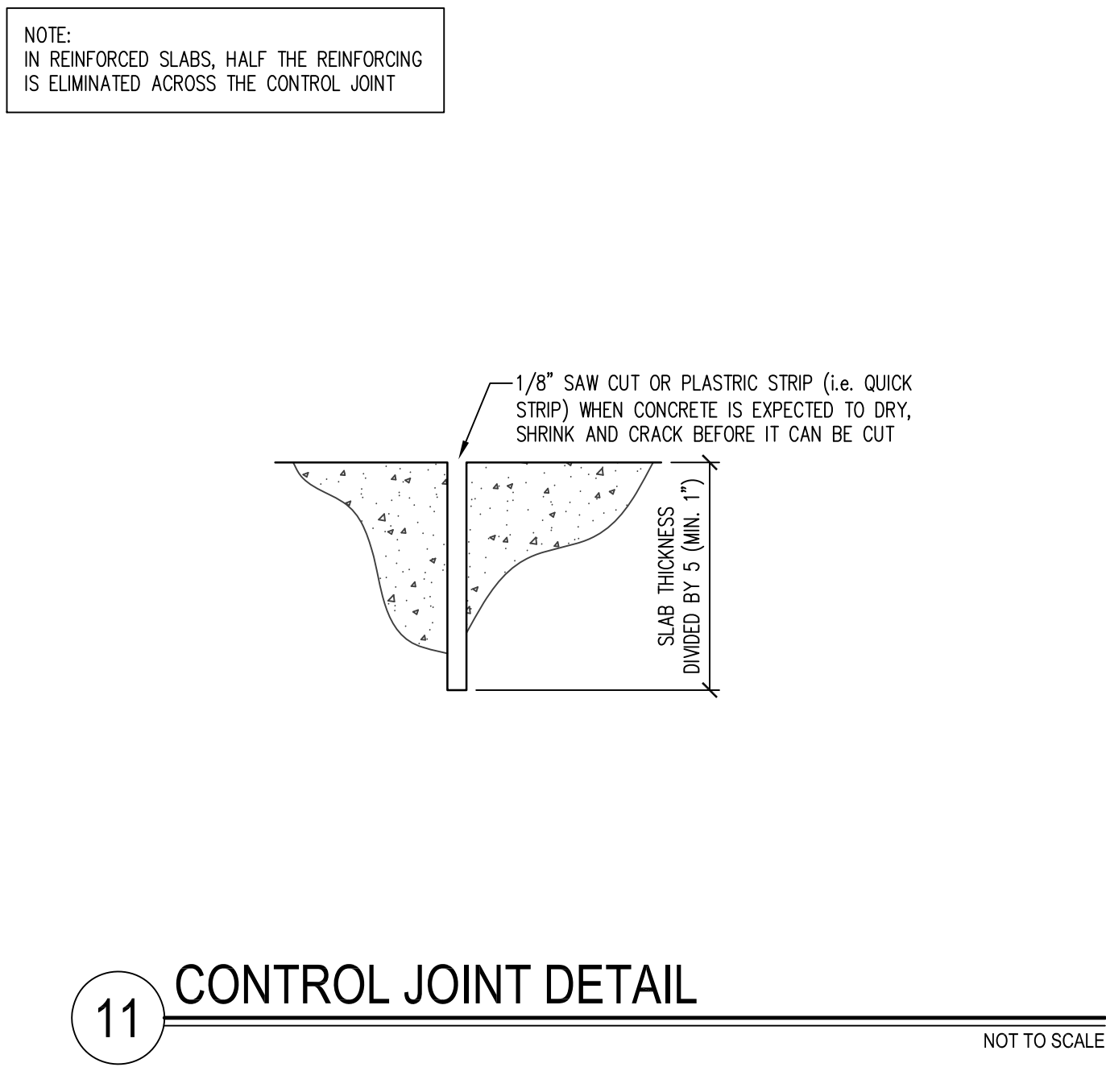
8 TYP. DEPRESSED STEM AT OPENING SCALE: 1"=1'-0"



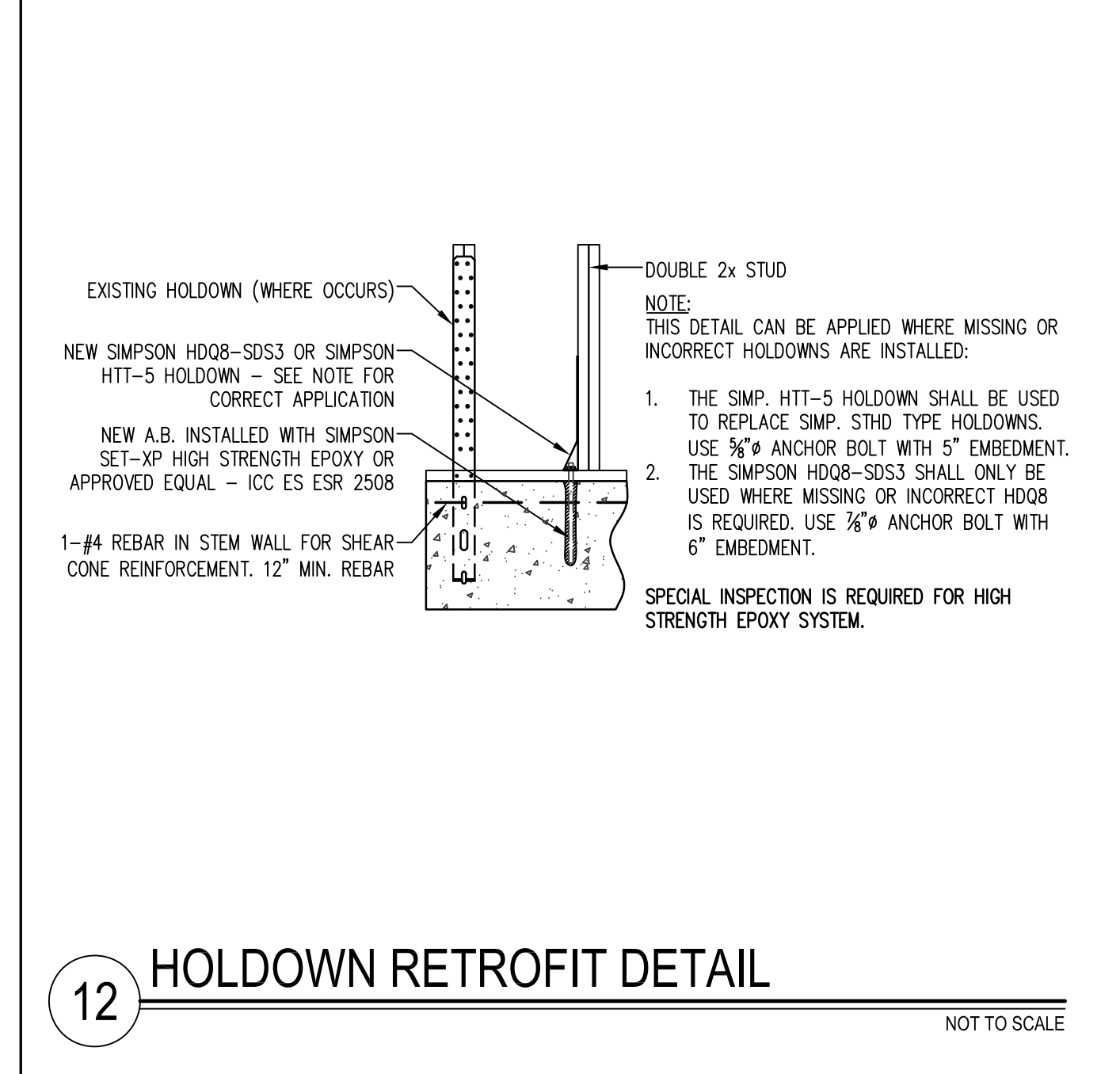
9 INTERIOR BEARING WALL FOOTING SCALE: 1"=1'-0"



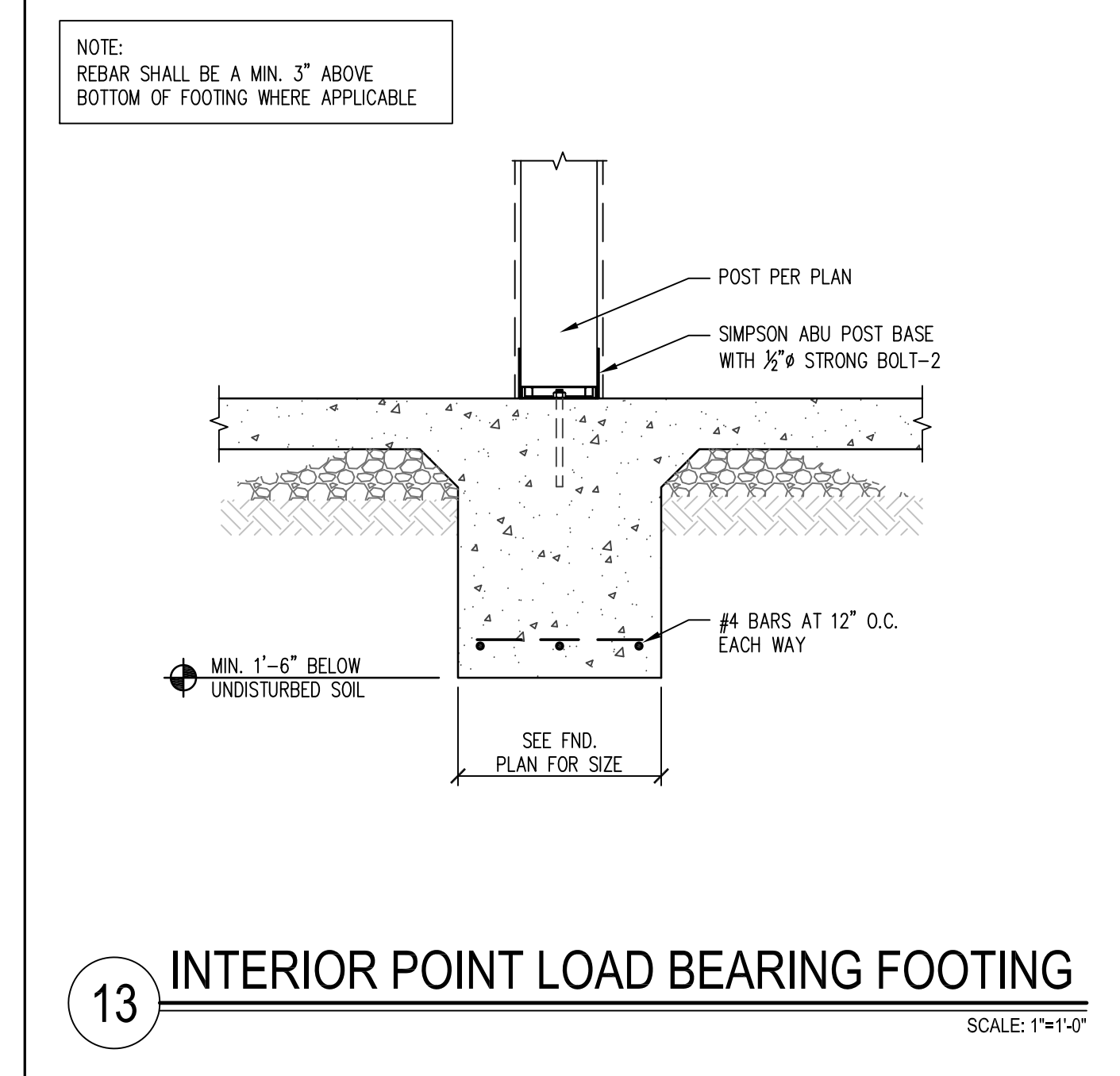
10 MASONRY FIREPLACE FOOTING SCALE: 1/2"=1'-0"



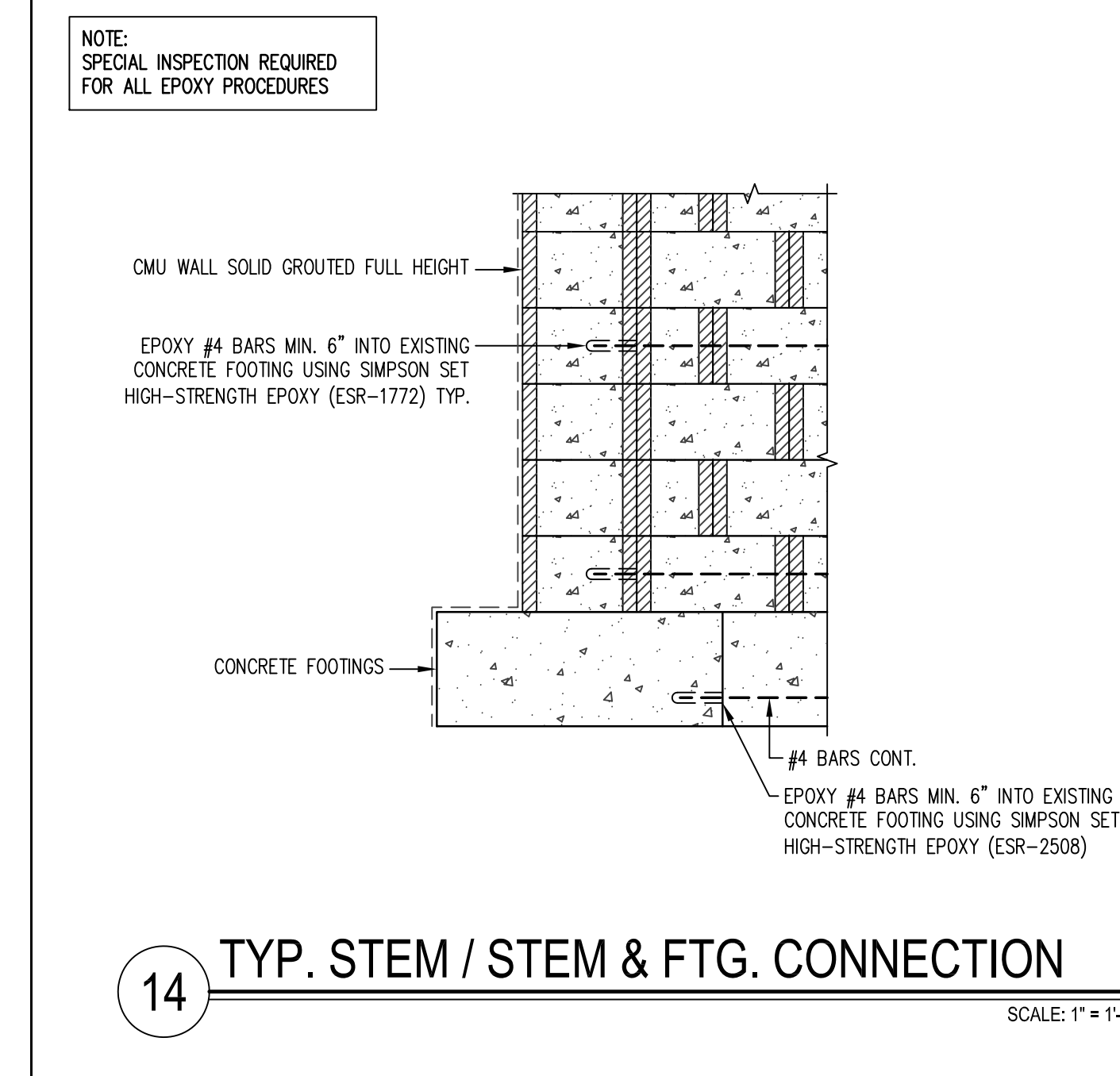
11 CONTROL JOINT DETAIL NOT TO SCALE



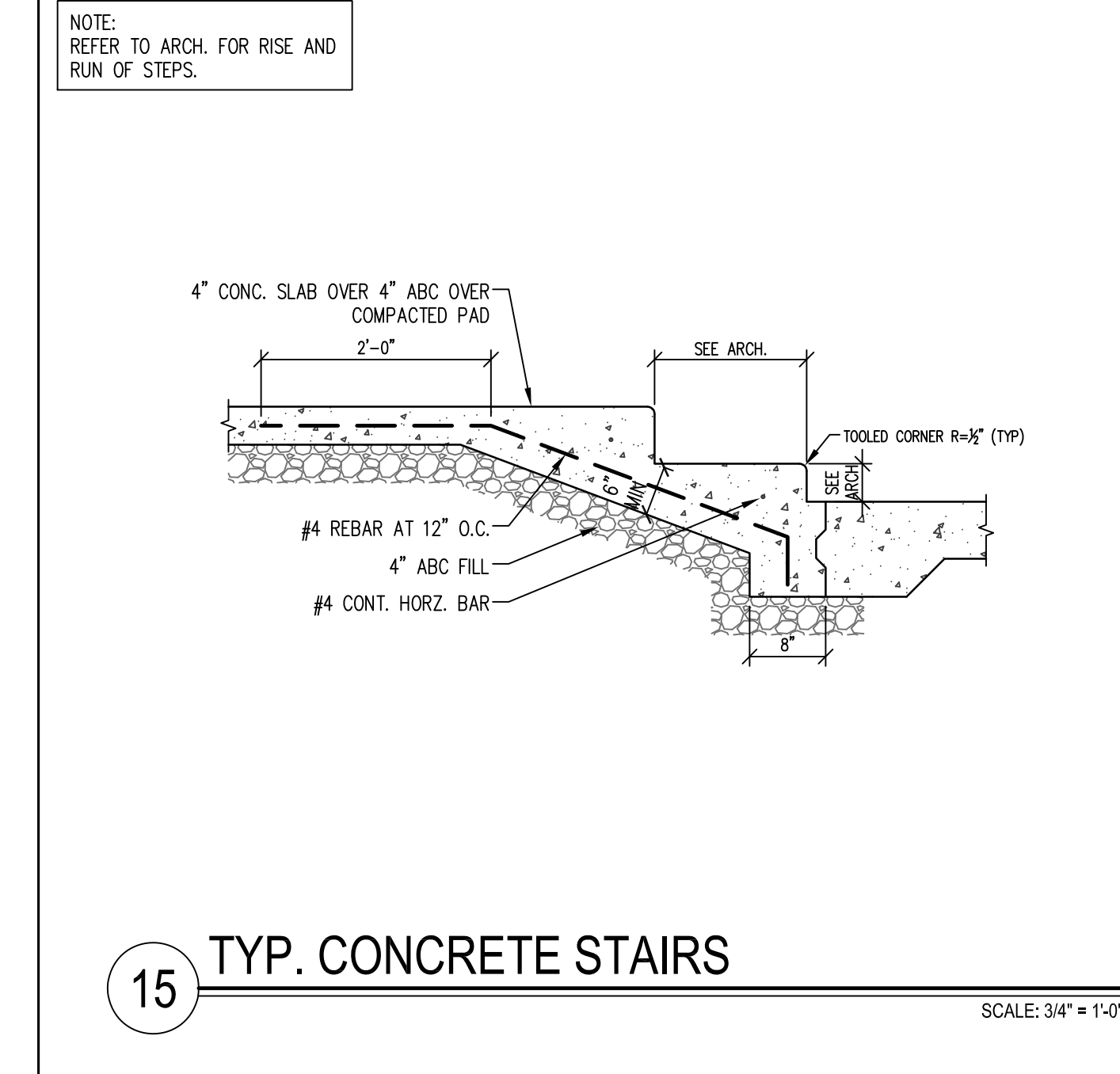
12 HOLDOWN RETROFIT DETAIL NOT TO SCALE



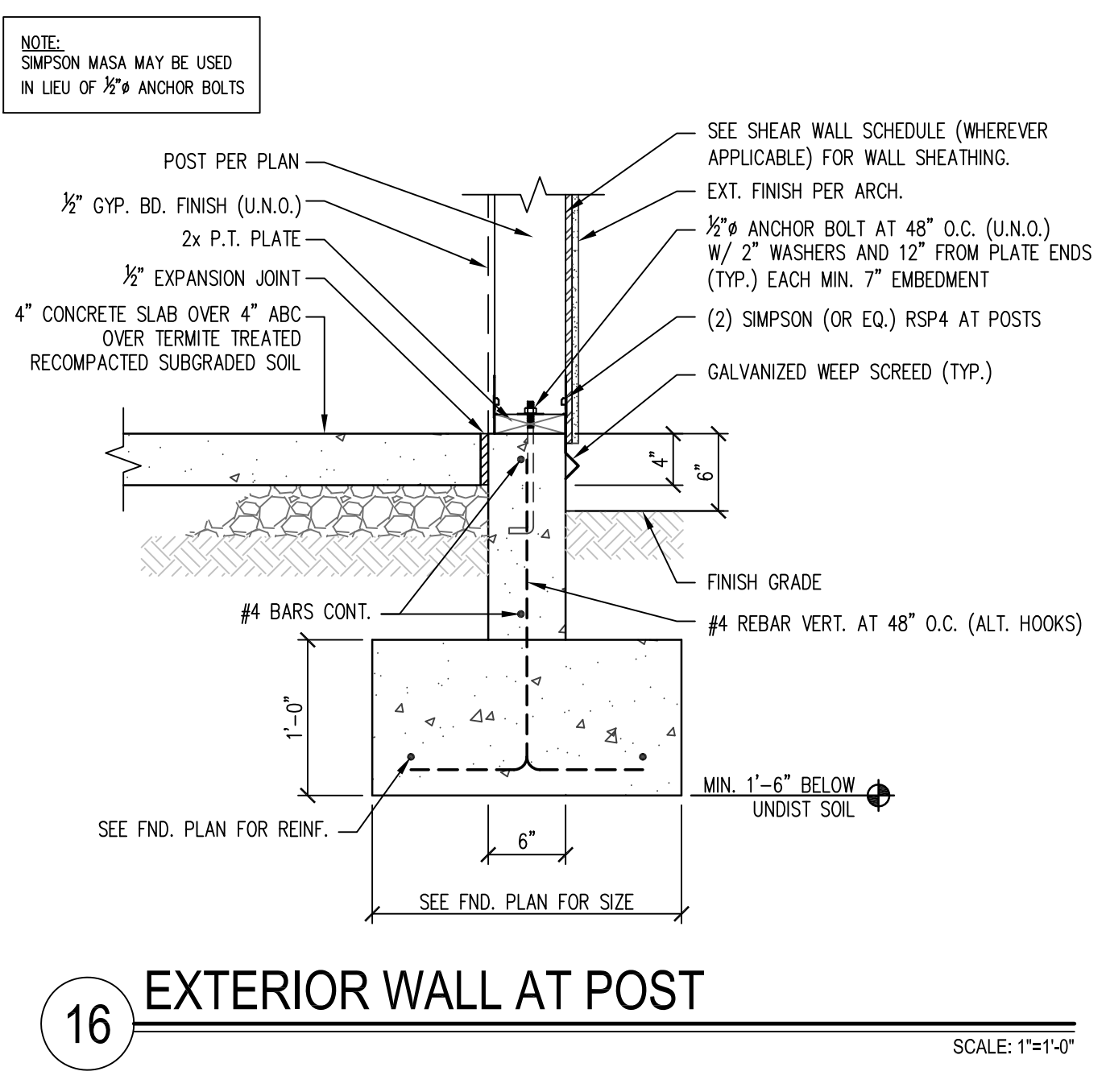
13 INTERIOR POINT LOAD BEARING FOOTING SCALE: 1"=1'-0"



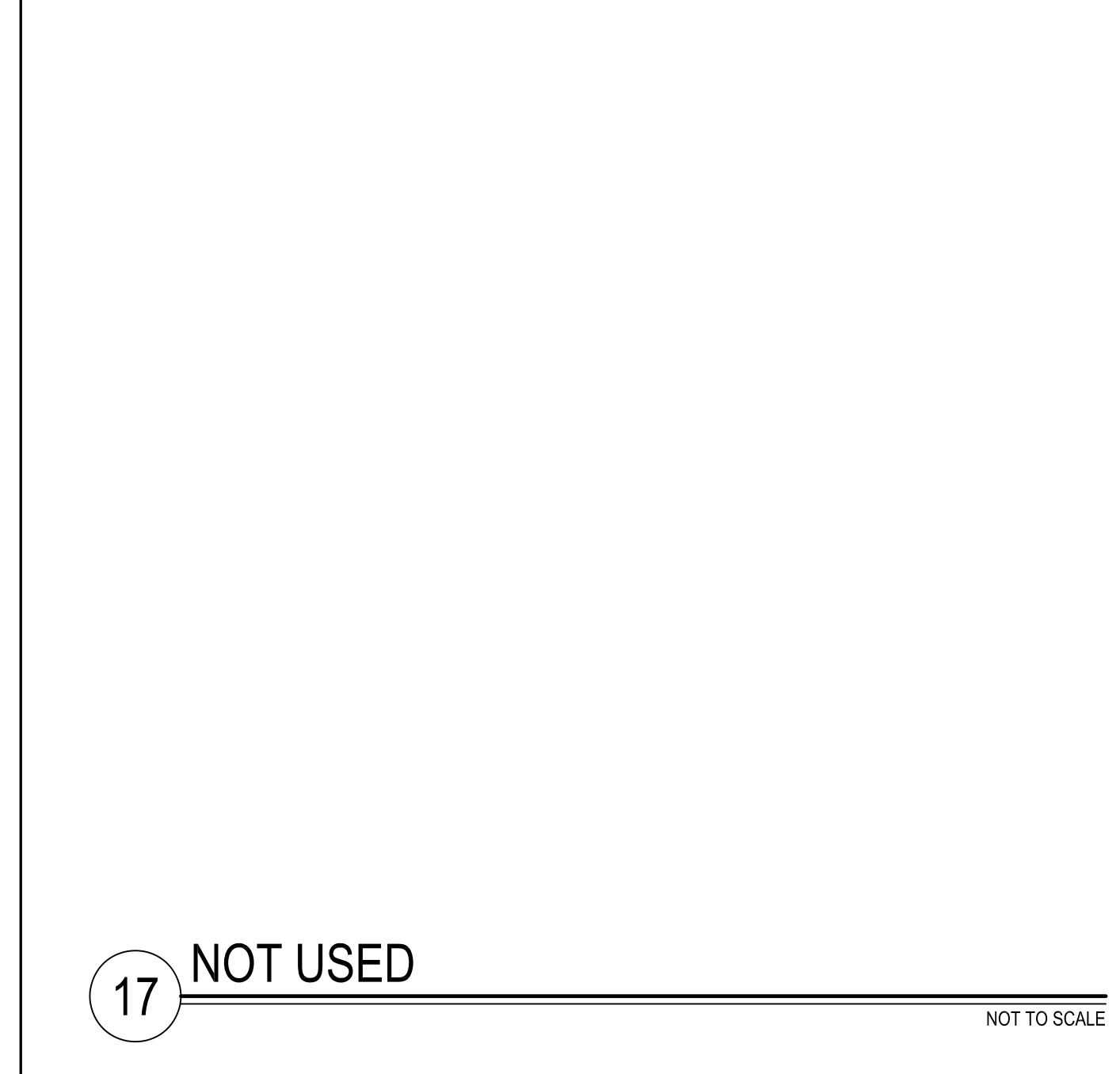
14 TYP. STEM / STEM & FTG. CONNECTION SCALE: 1"=1'-0"



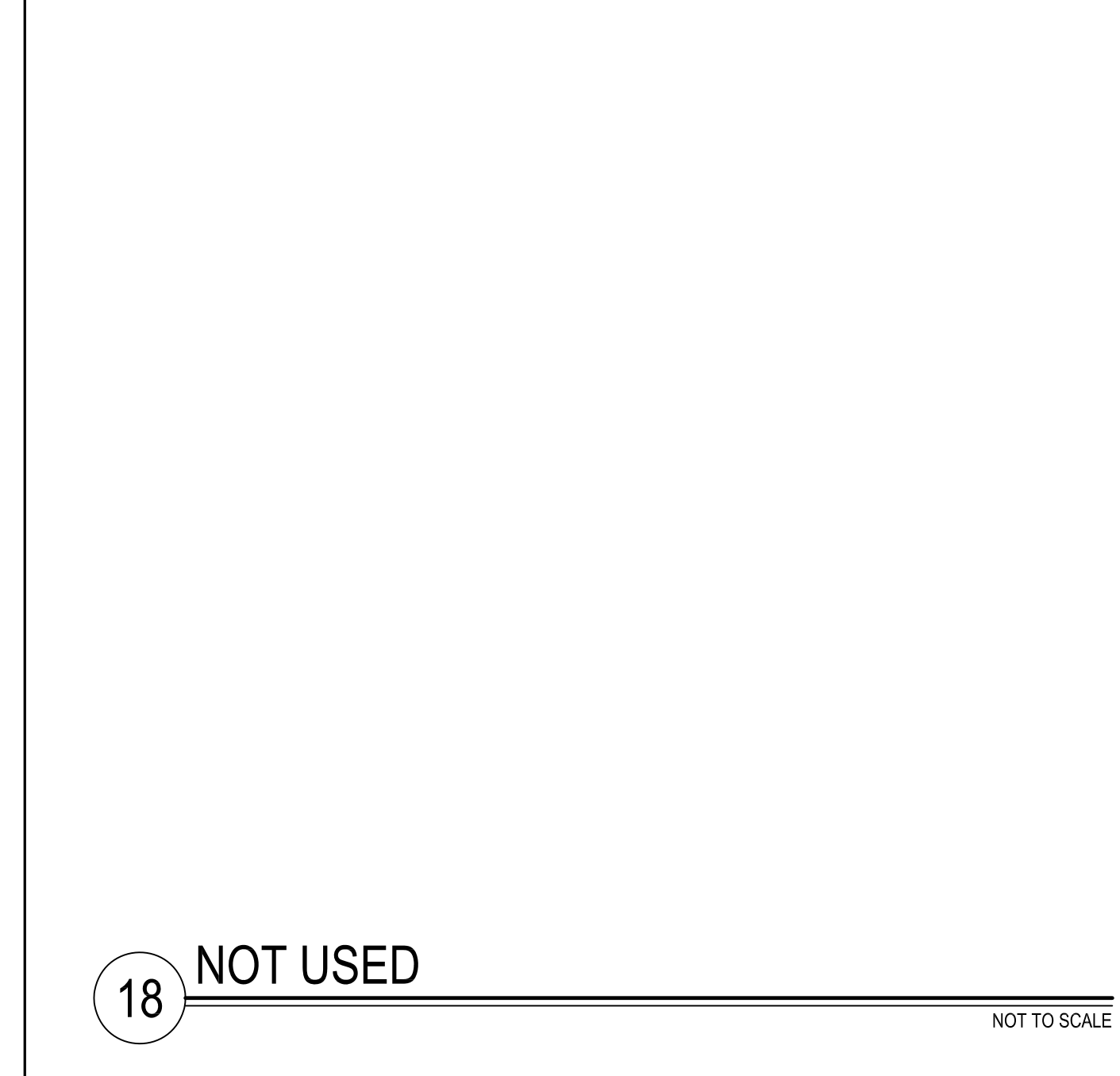
15 TYP. CONCRETE STAIRS SCALE: 3/4"=1'-0"



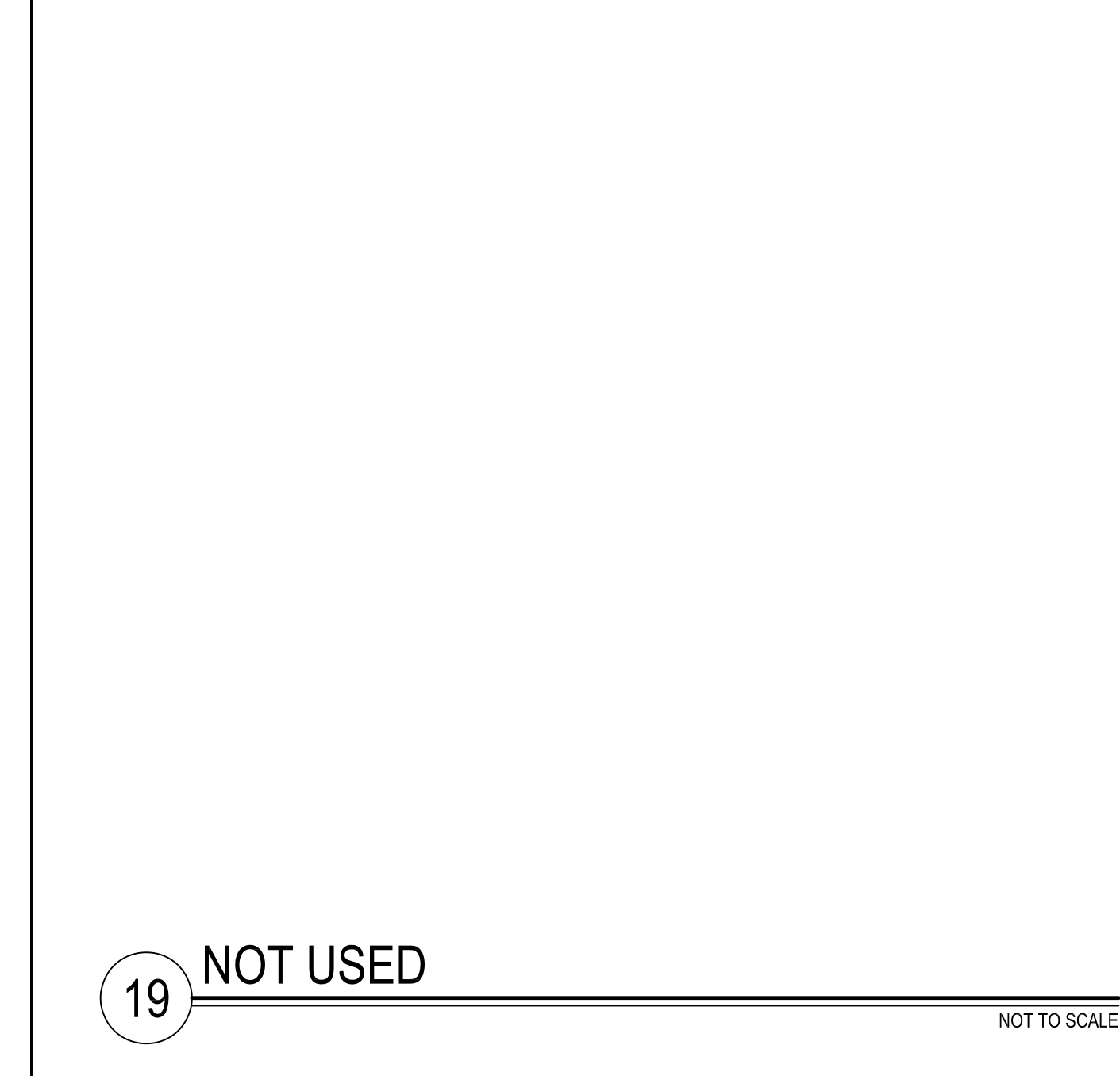
16 EXTERIOR WALL AT POST SCALE: 1"=1'-0"



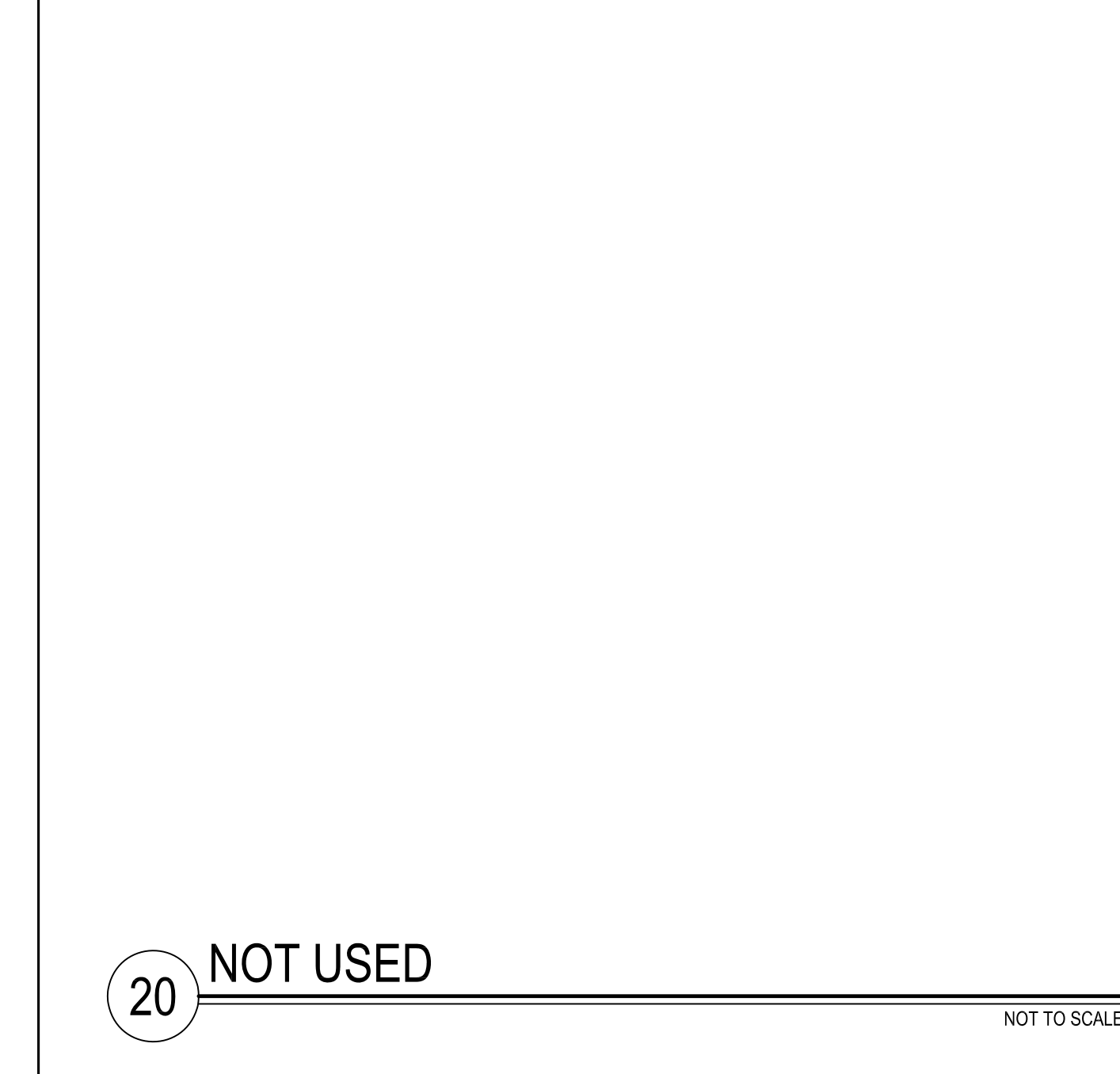
17 NOT USED NOT TO SCALE



18 NOT USED NOT TO SCALE



19 NOT USED NOT TO SCALE



20 NOT USED NOT TO SCALE

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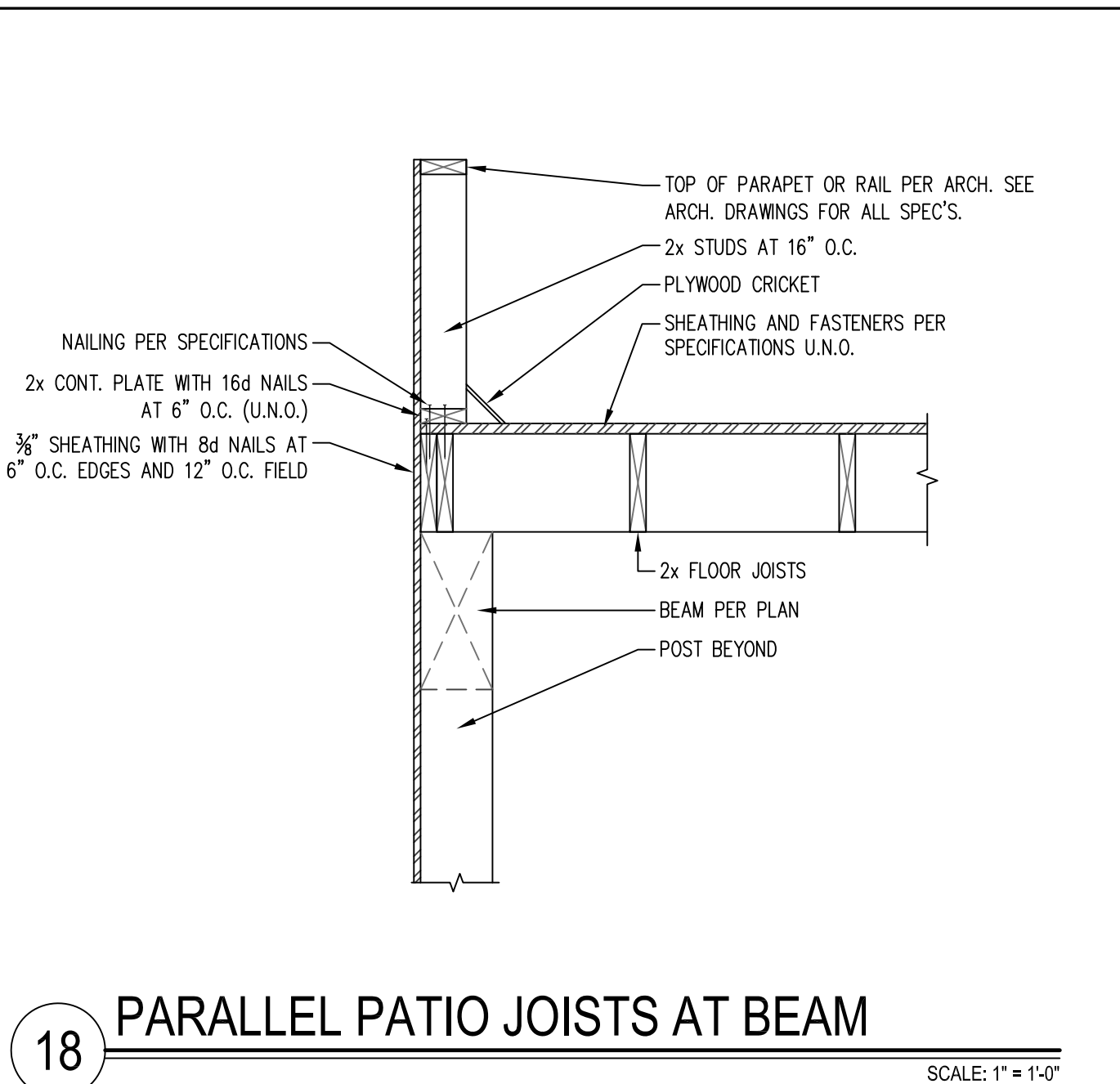
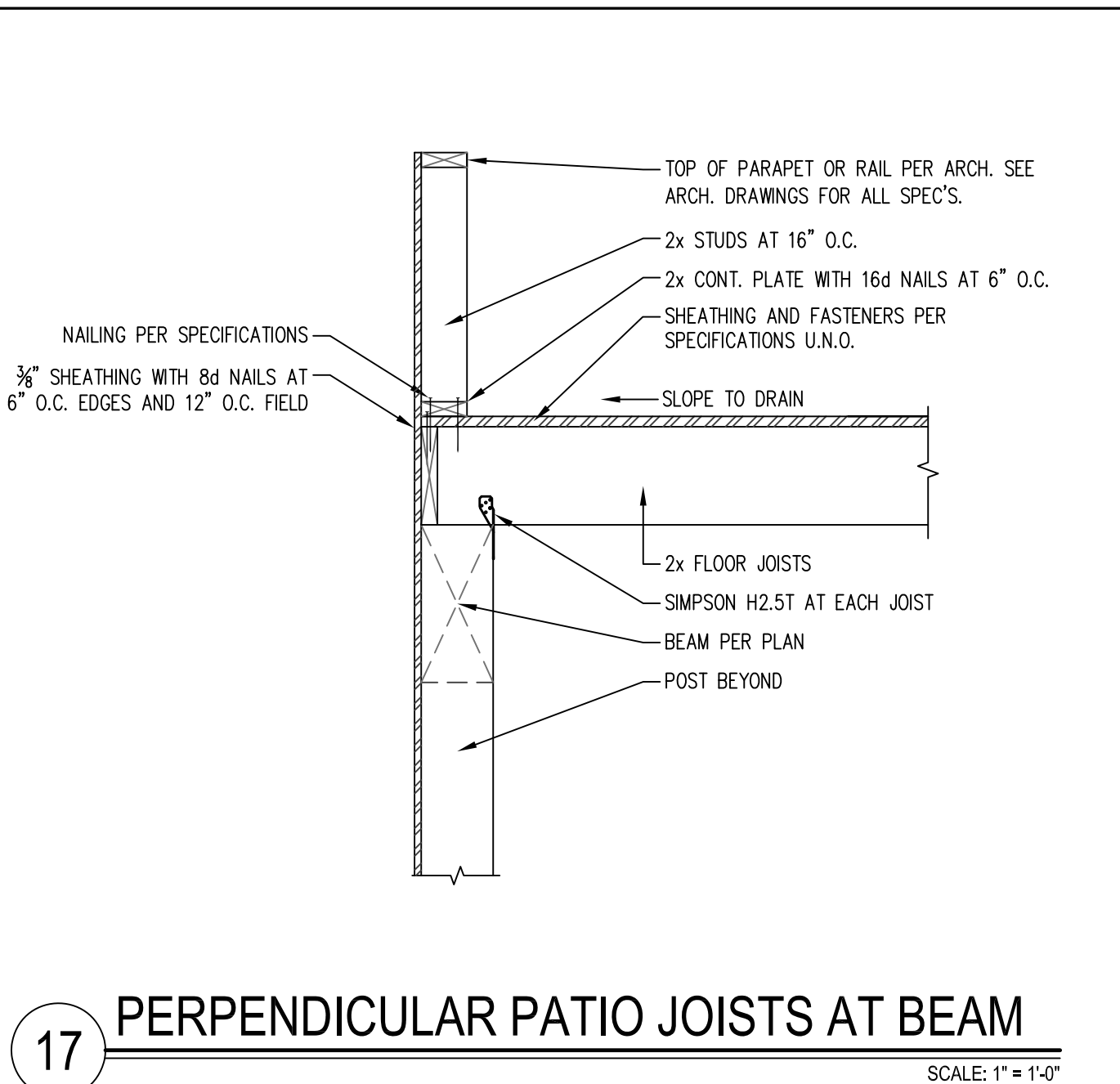
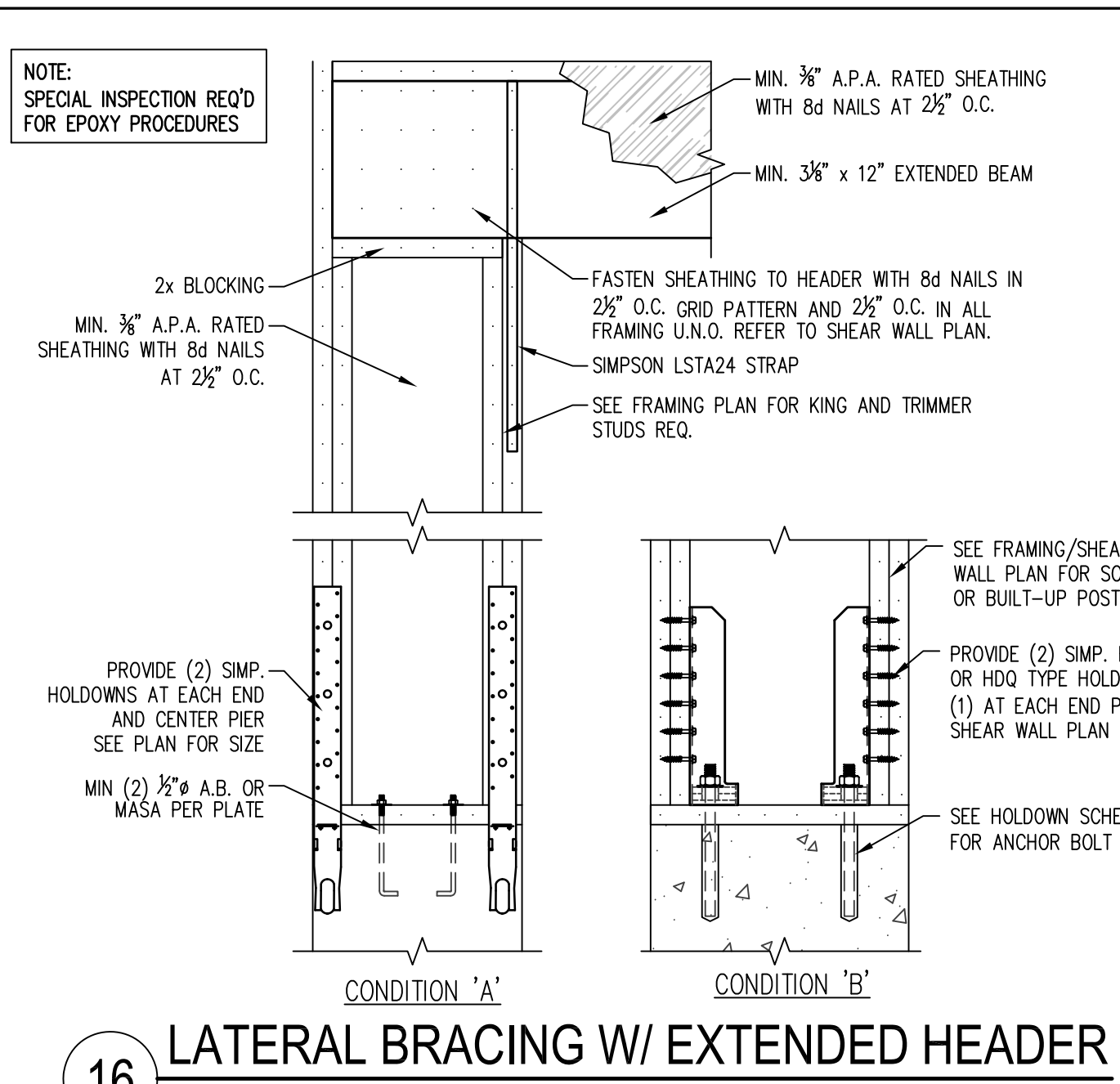
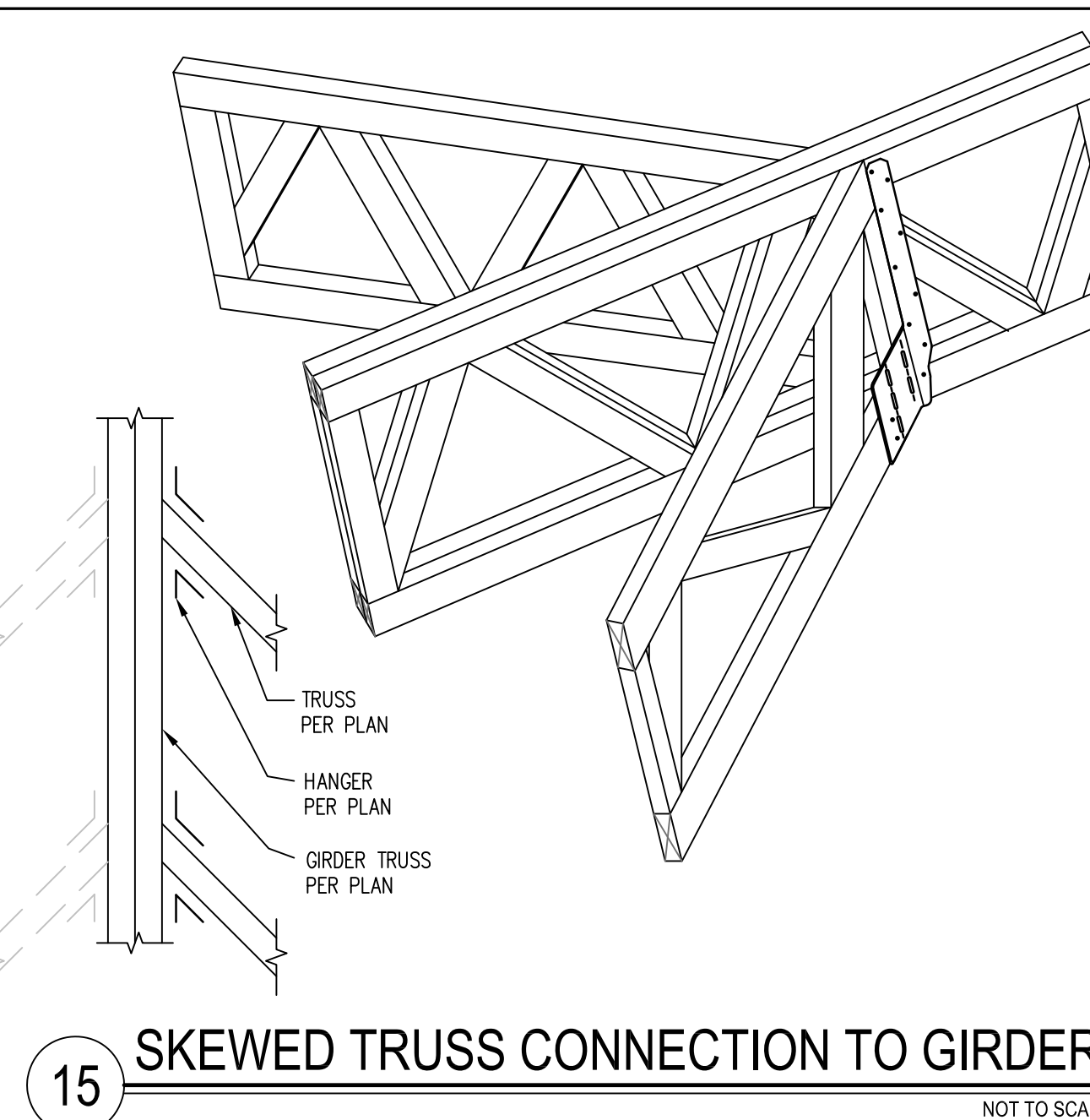
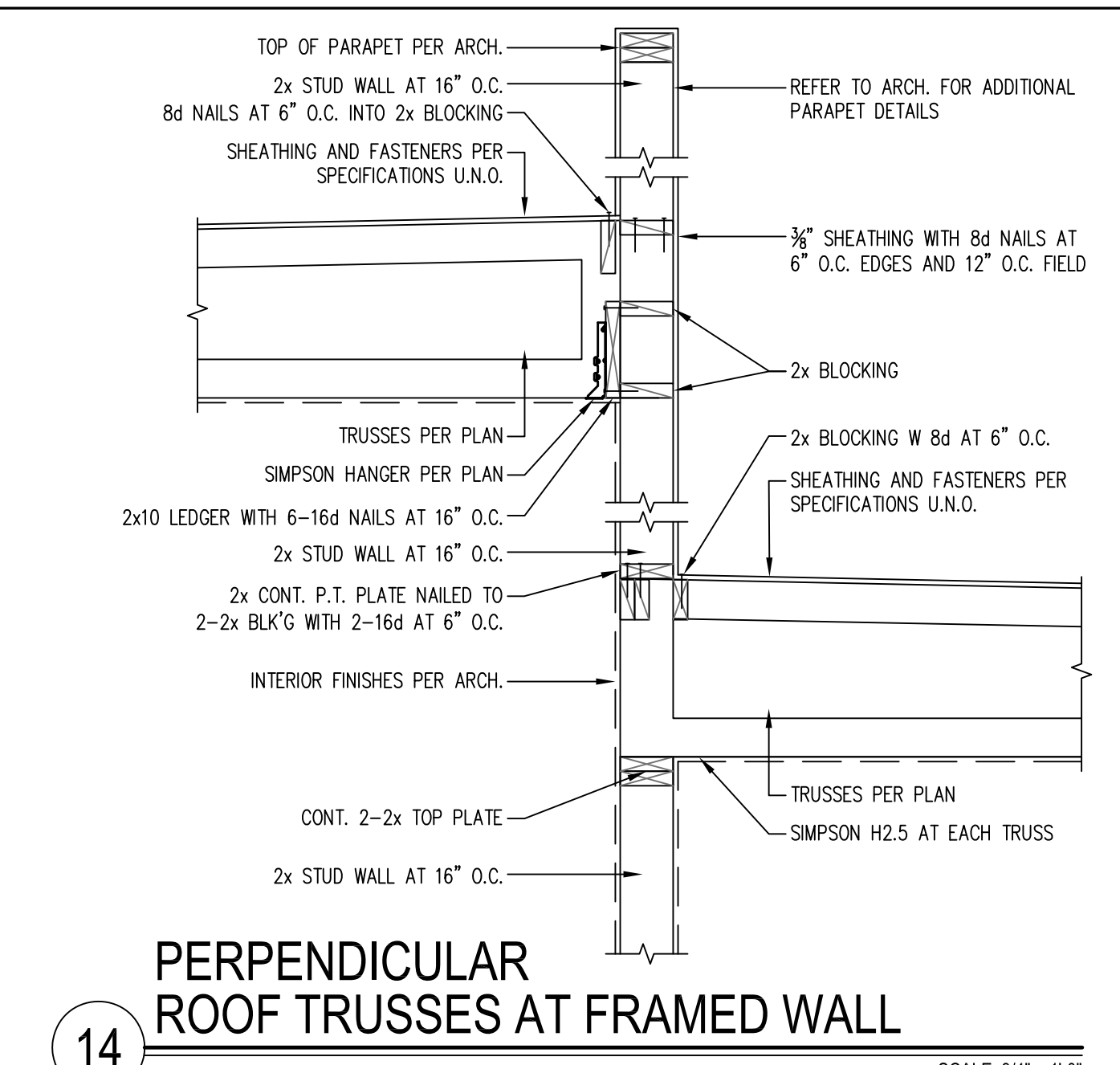
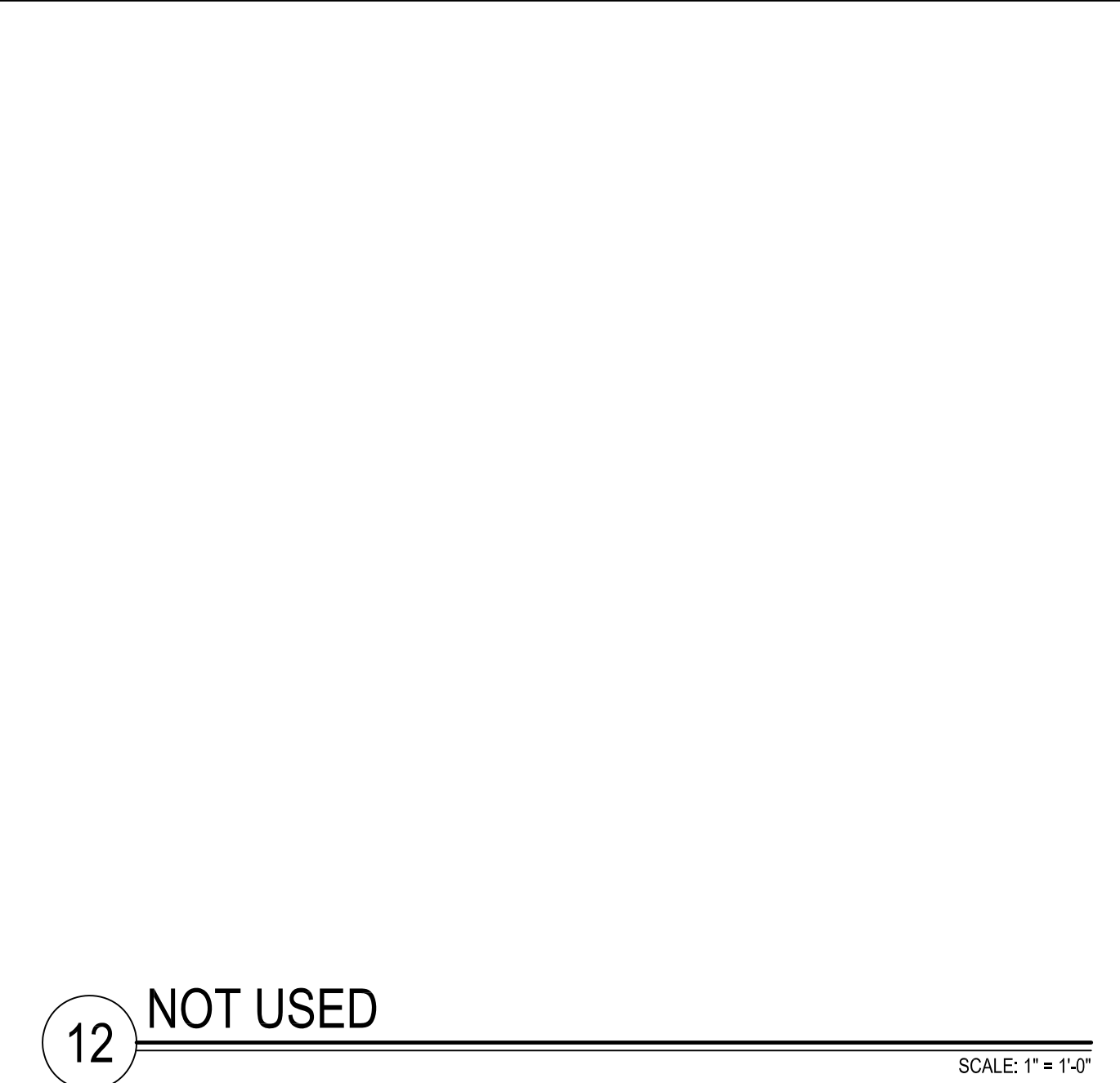
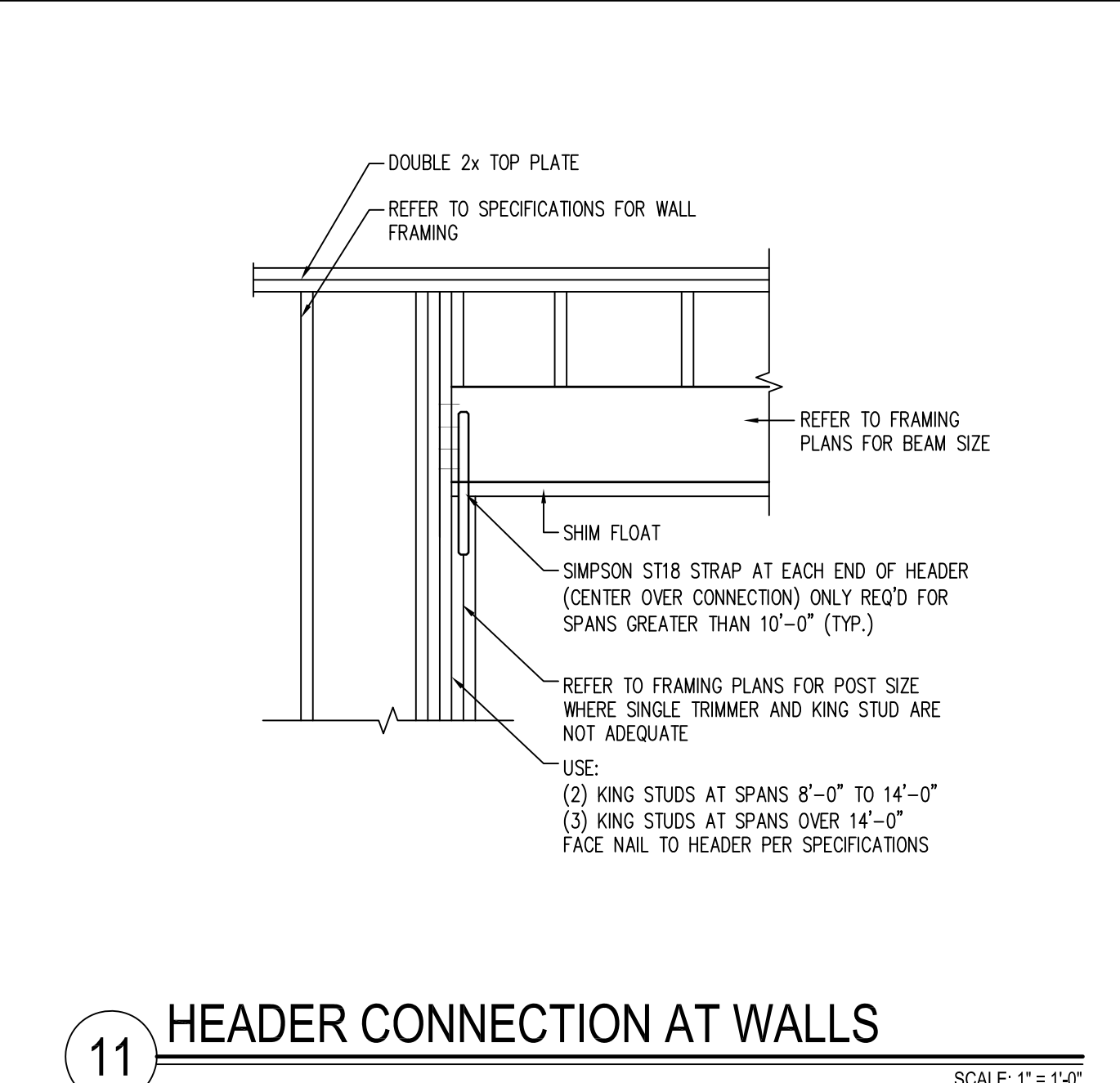
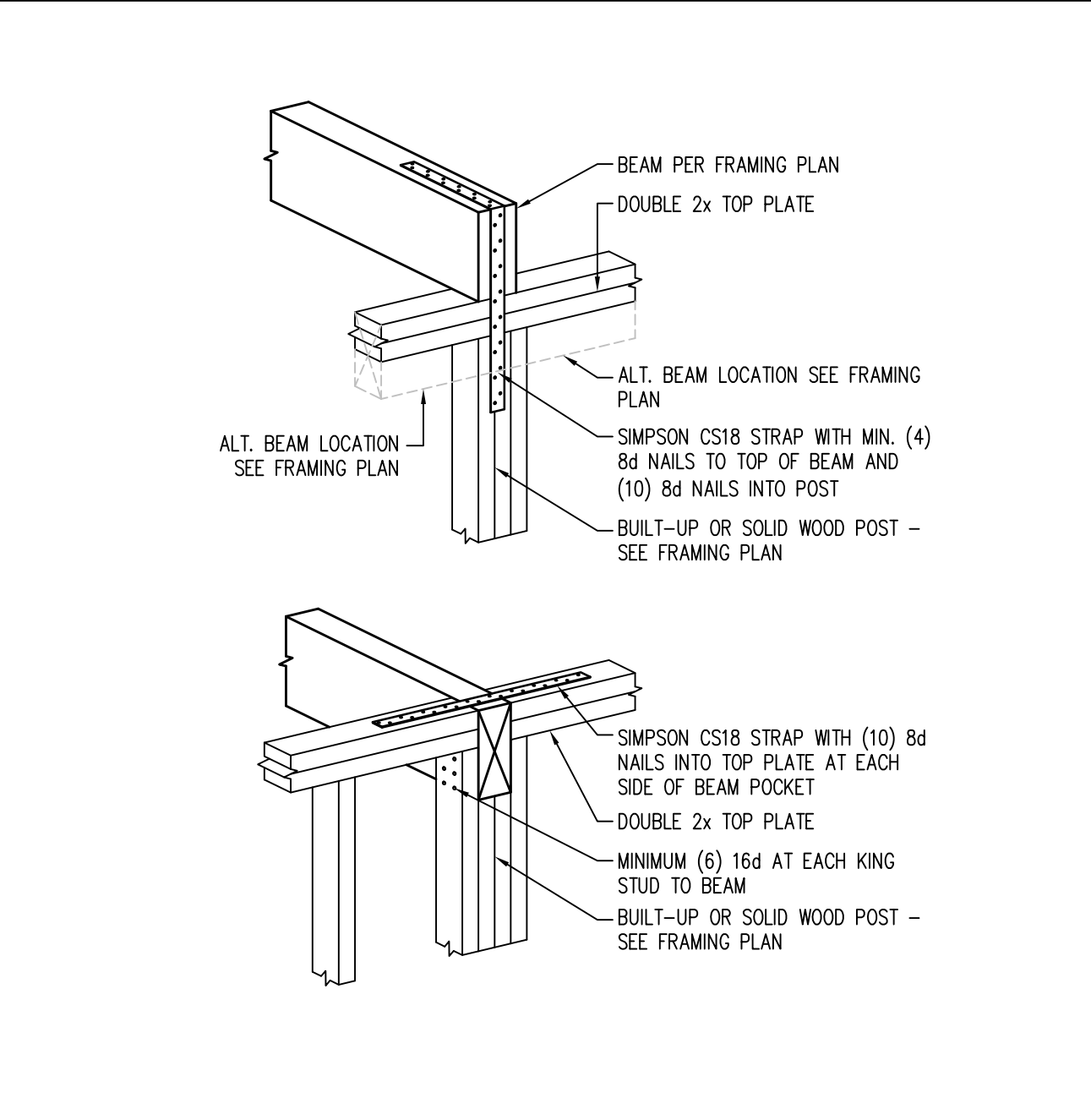
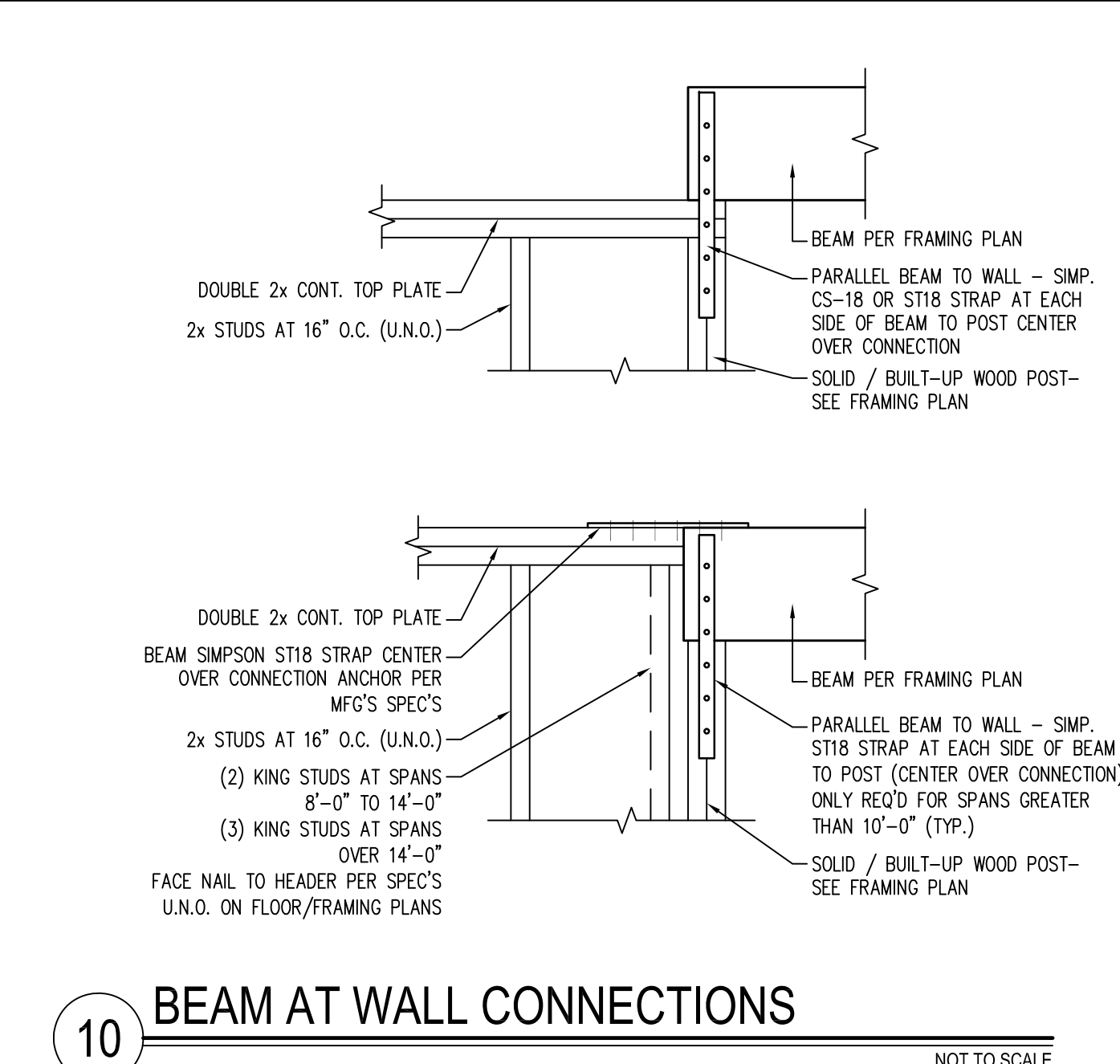
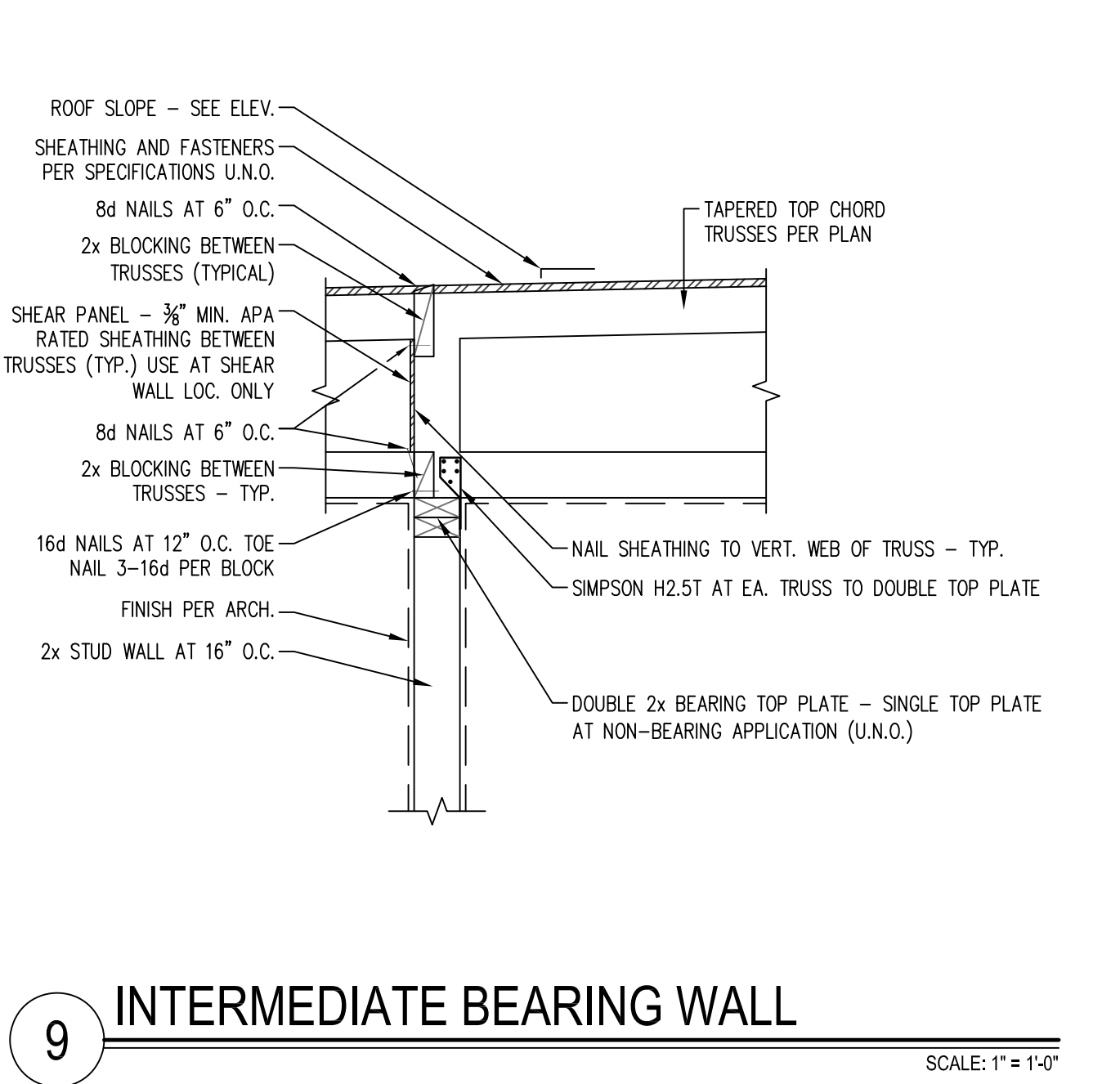
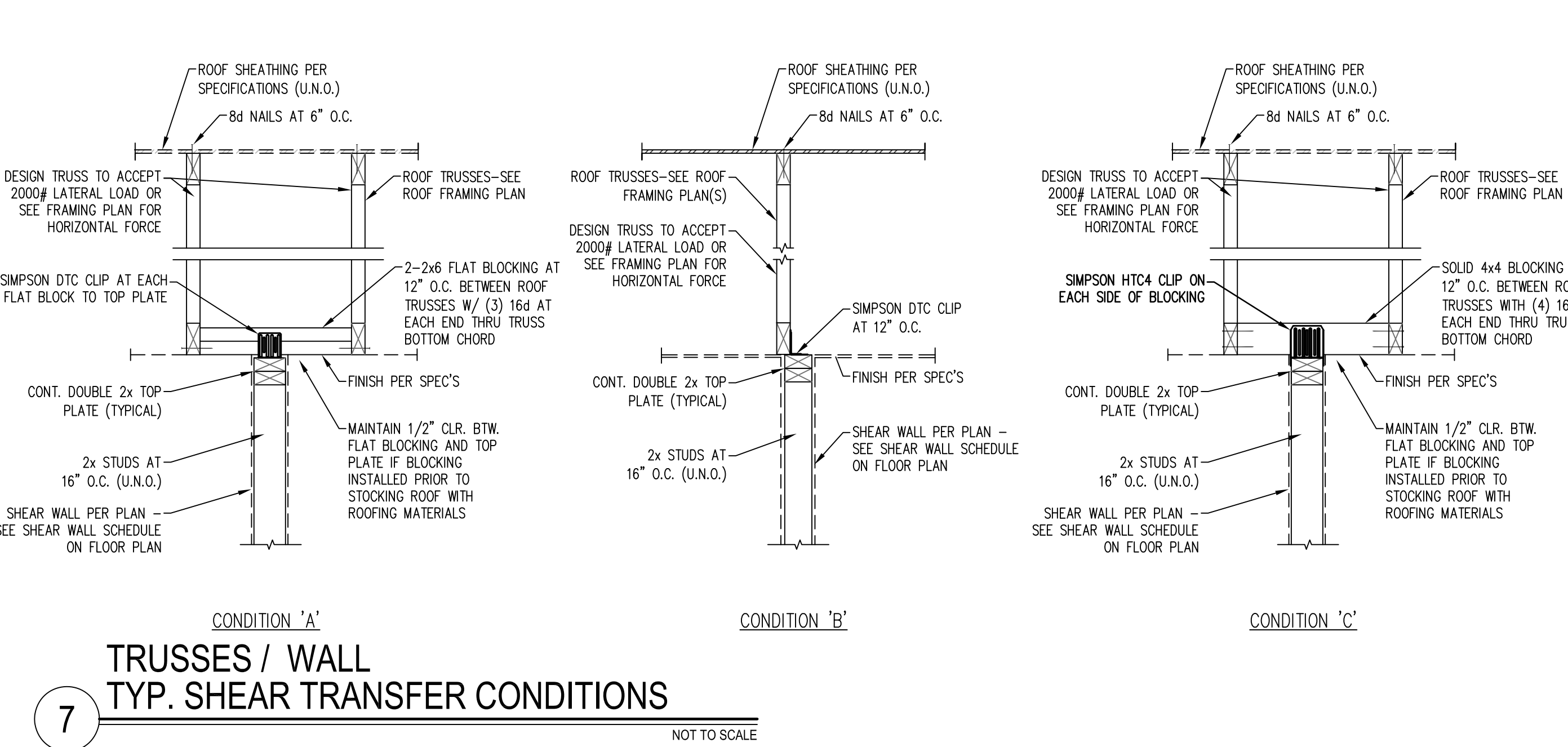
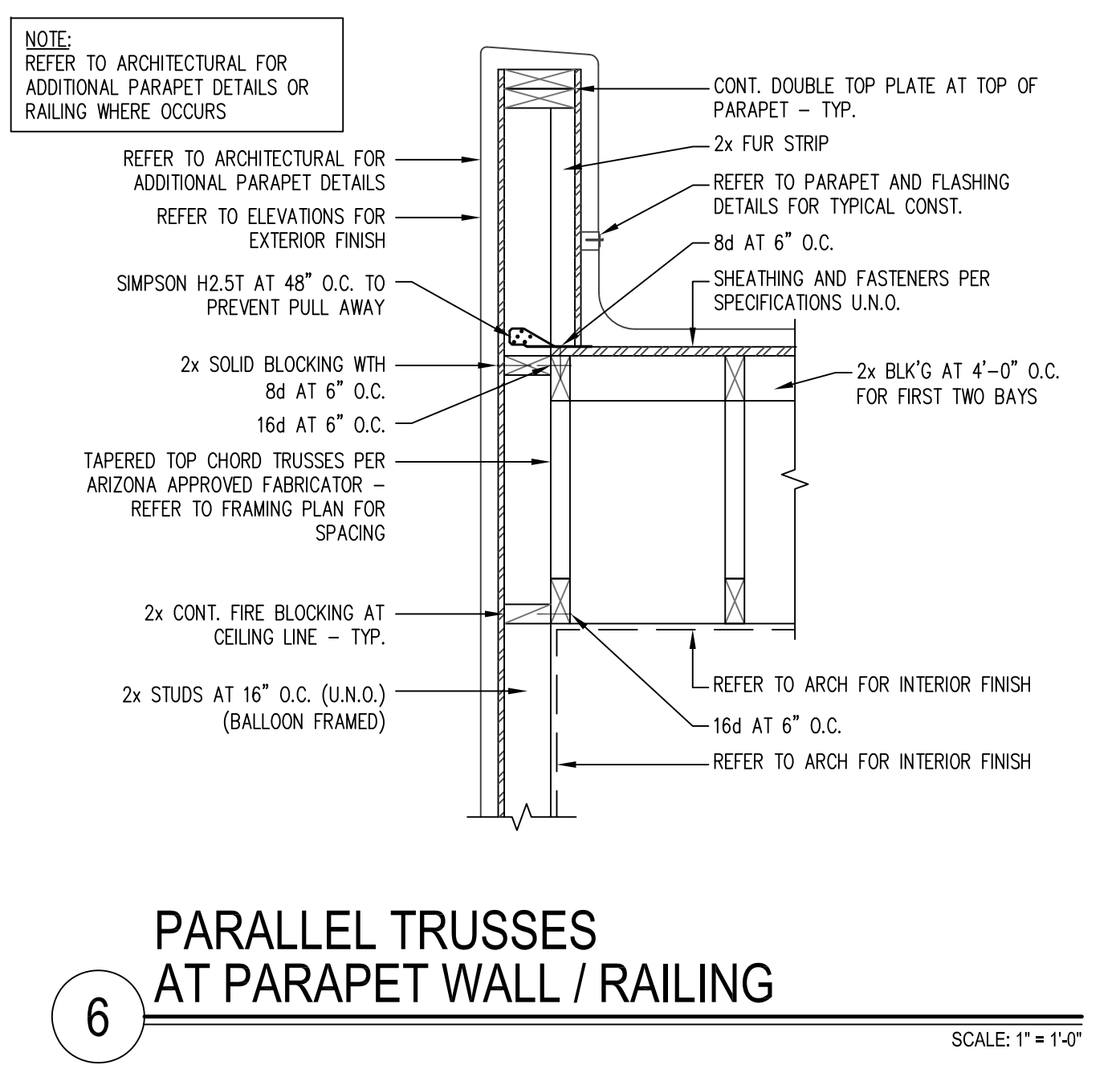
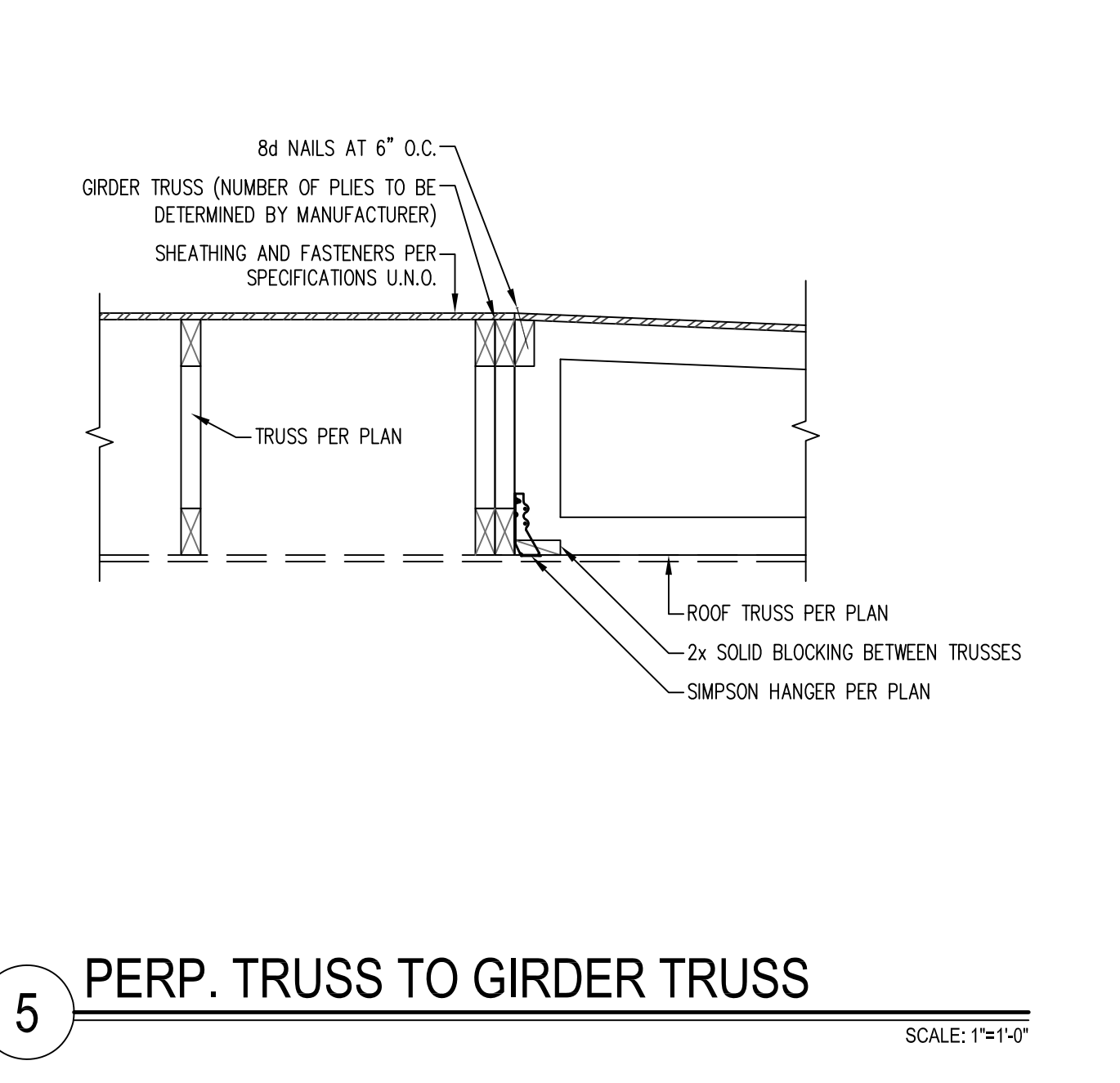
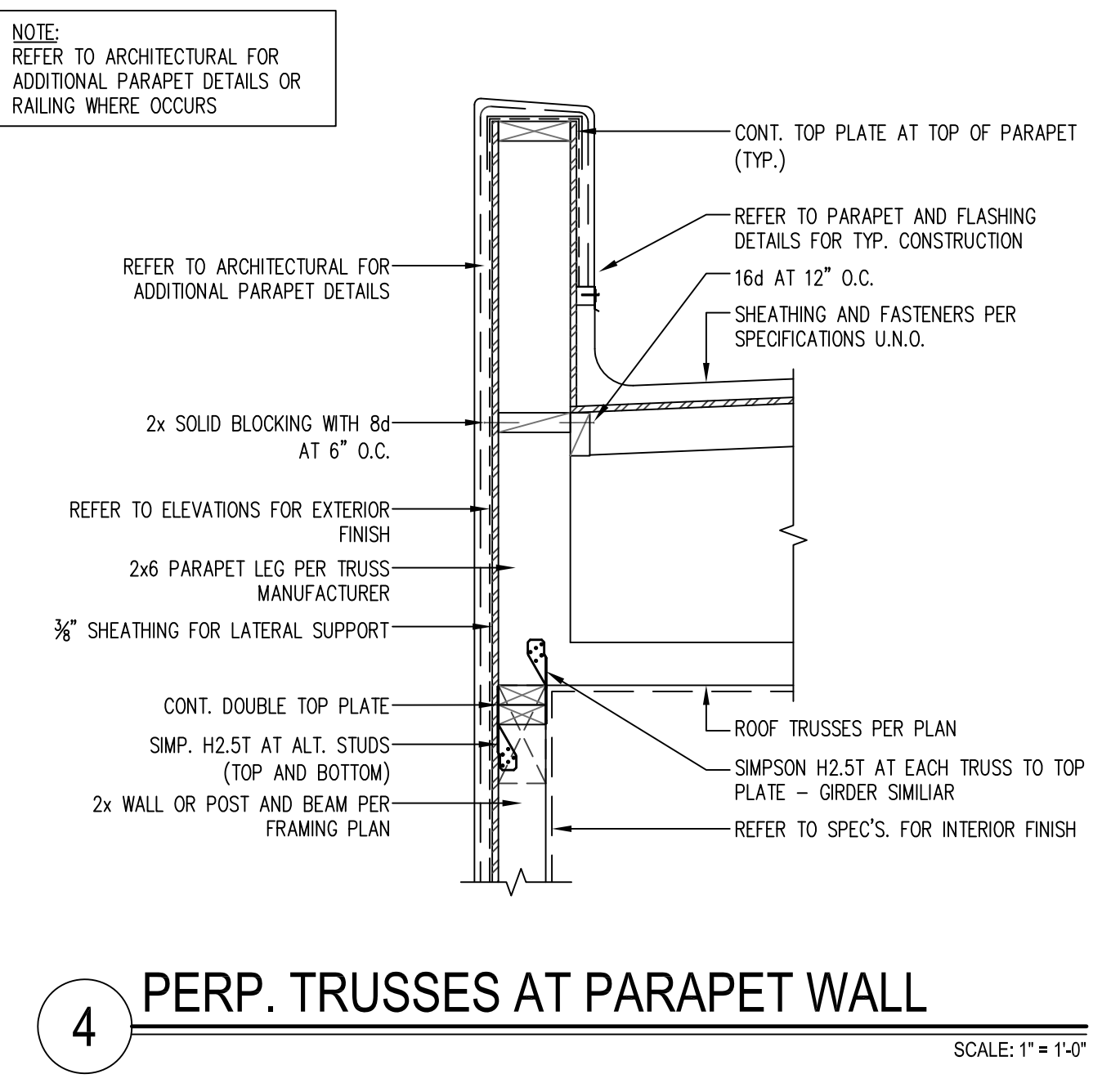
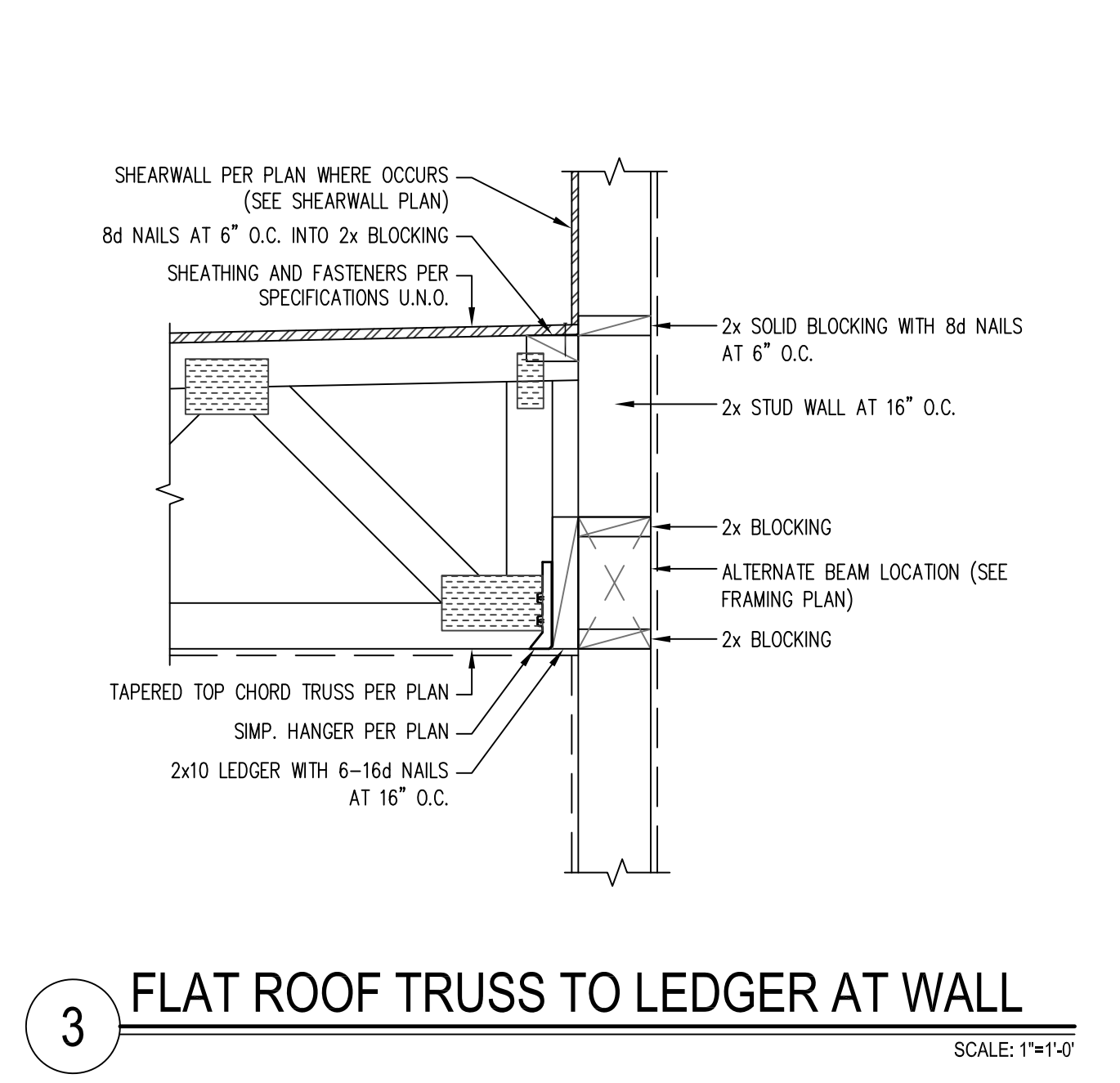
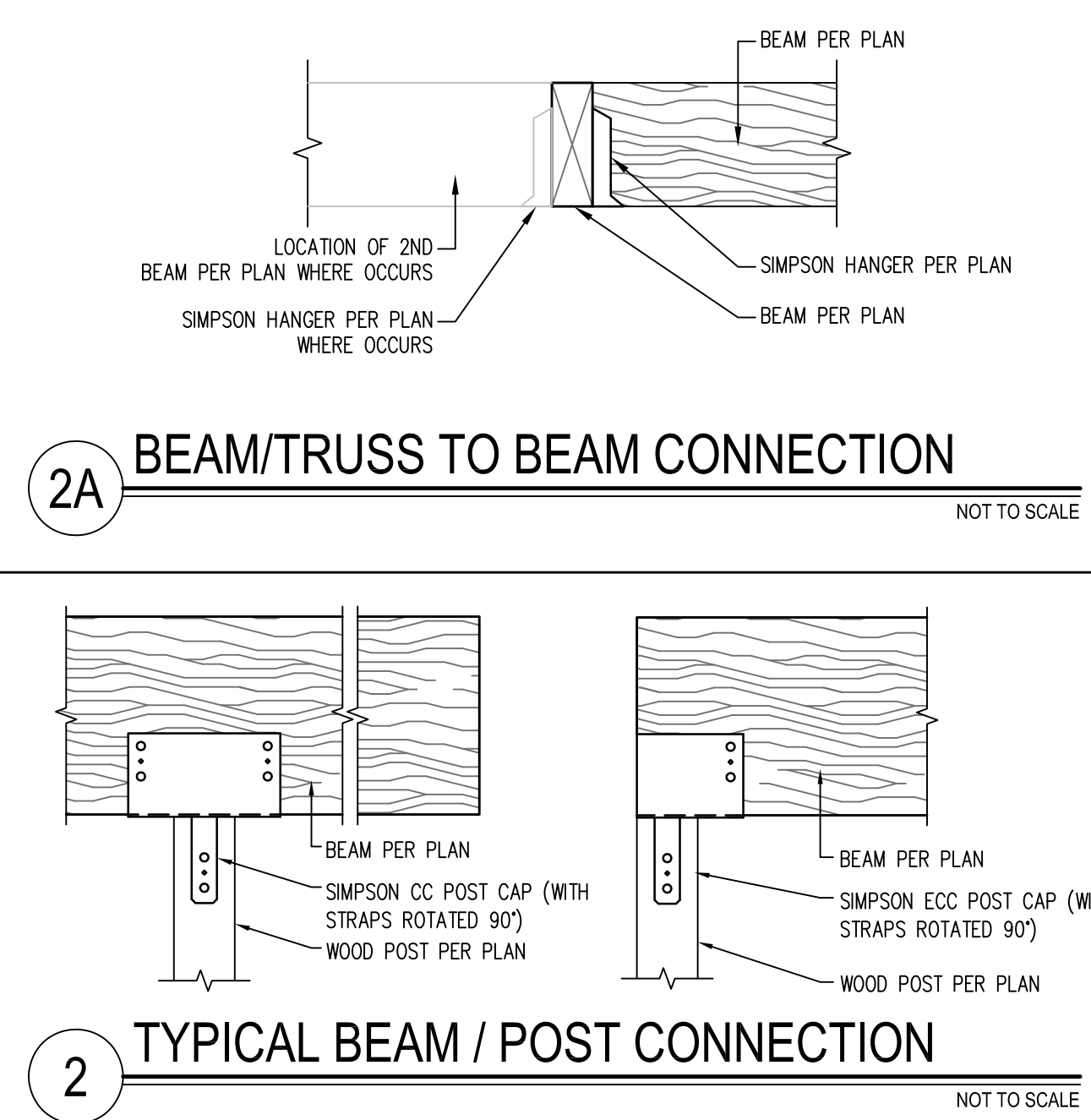
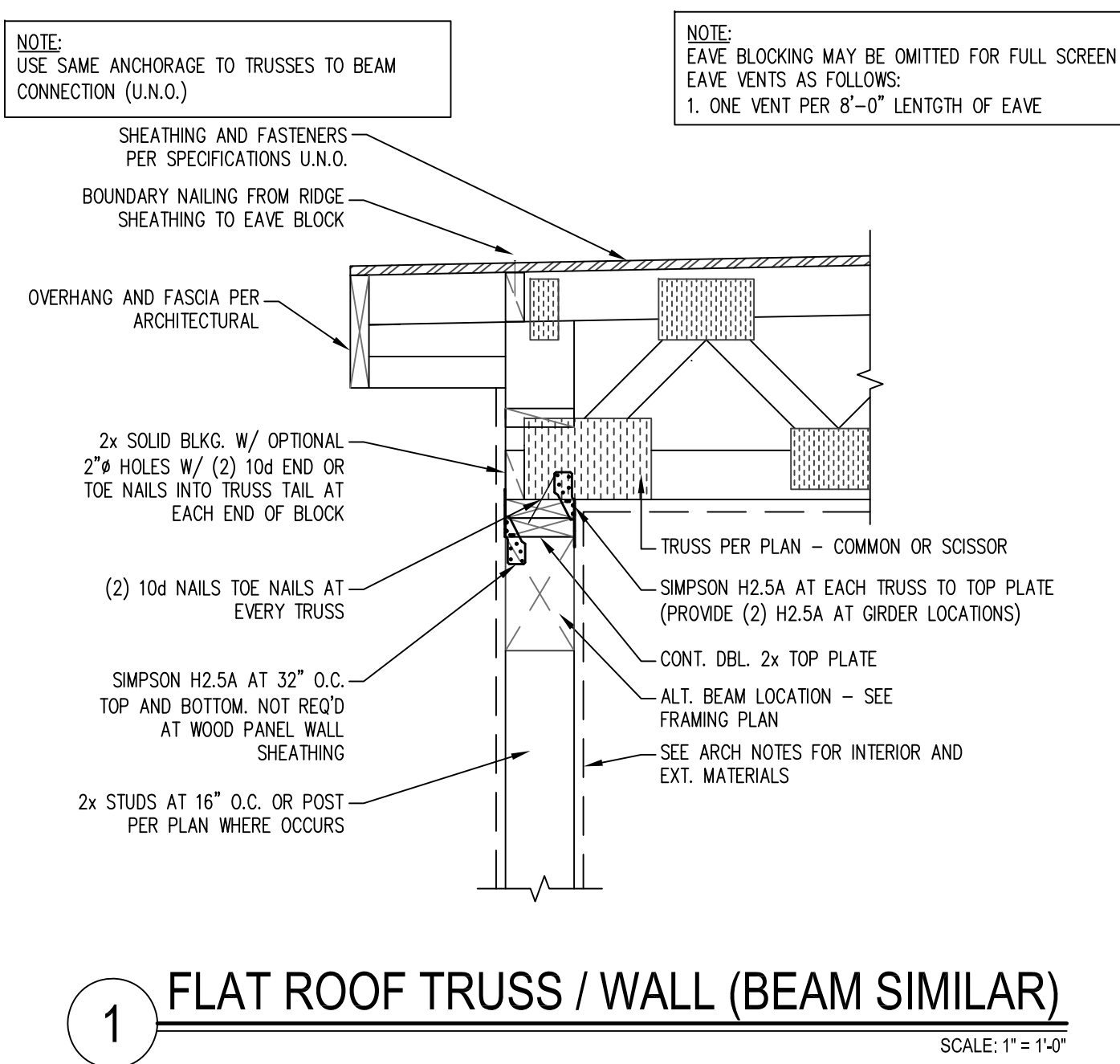
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PROJECT NUMBER:
DATE: 8.16.2022

SHEET TITLE:
STRUCTURAL DETAILS

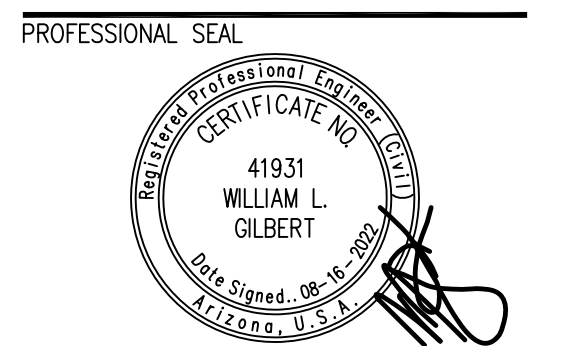
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SD1

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REVISIONS

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SHEET NUMBER: STRUCTURAL DETAILS

DATE: 8.16.2022

SHEET NUMBER: SD2

POVINELLI RESIDENCE

GRADING AND DRAINAGE PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH,
RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MEDIAN,
MARICOPA COUNTY, ARIZONA

FEMA INFORMATION

THIS PROPERTY IS LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM) ZONE X,
PANEL 04013C1785L EFFECTIVE 10/16/2013.

ENGINEERS CERTIFICATION

THE LOWEST FLOOR ELEVATIONS AND/FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE
SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM.

SURVEY CERTIFICATION

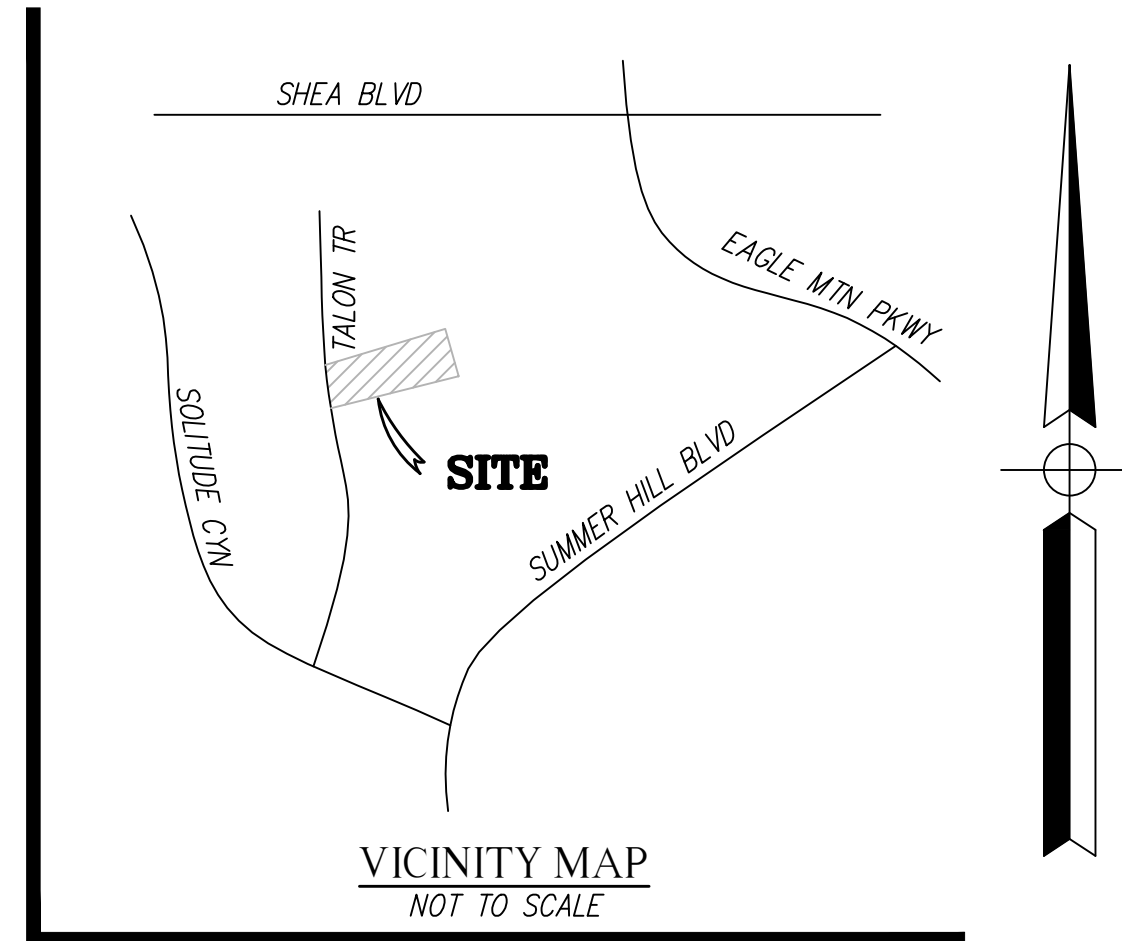
PLANS ARE BASED ON A SURVEY PERFORMED BY ARIZONA SURVEYORS INC. IN APRIL 2021.

DRAINAGE NOTE

THE PAD ELEVATIONS OF ALL A/C AND/OR ELECTRO-MECHANICAL UNITS WILL BE SET
REASONABLY HIGHER THAN THE ADJACENT GRADES AND SHALL BE, ALONG WITH STRUCTURES
LOWEST FINISHED FLOORS, A MINIMUM OF 1.0' ABOVE THE WATER SURFACE ELEVATIONS OF
ANY ADJACENT WASH OR CHANNEL FLOW, MEASURED AT THE UPSTREAM END OF THE
STRUCTURE TO PROVIDE FLOOD PROTECTION UNDER THE 100-YEAR STORM EVENT. SCOUR
DEPTH IS 3 FEET PER CALCULATIONS PROVIDED IN THE DRAINAGE REPORT BASED ON ADWR
METHODS AND REQUIREMENTS.

BENCHMARK

BM: 30
BCF, INTERSECTION OF MIRAMONTE & SUMMERHILL
NAVD 88 ELEVATION: 1679.59'
PROVIDED BY TOWN OF FOUNTAIN HILLS



OWNER:

KEVIN & SHARON POVINELLI
9539 E. SANY VISTA DRIVE
SCOTTSDALE, AZ 85262

ENGINEER:

MARC PALICHUK P.E.
4200 E. CANYON WAY
CHANDLER, ARIZONA 85249
PHONE: 480-242-9622
EMAIL: mpalichuk@yahoo.com

BUILDING PLANS:

GILBERT STRUCTURAL
2003 E. 5TH ST.
TEMPE, AZ 85281
PHONE: 480-398-8144
EMAIL: joe@gilbertstructural.com

SURVEYOR:

ARIZONA SURVEYORS INC.
JOHN WARE
11445 E. VIA LINDA STE 2-447
SCOTTSDALE, ARIZONA 85259
PHONE: 480-816-9773

PROPERTY ADDRESS

9505 N. TALON TRAIL
FOUNTAIN HILLS, AZ 85268

ASSESSOR'S PARCEL NO.:

217-30-578

ZONING:

R1-10A

SITE DATA

GROSS AREA - 48,395 SF
NET AREA - 48,395 SF
TOTAL COVERED BUILDING AREA - 6,309 SF
LOT COVERAGE - 13.0%

DISTURBANCE CALCULATIONS

TOTAL DISTURBED AREA = 28,271 SF
TOTAL RE-VEGETATED DISTURBED AREA = 0 SF
TOTAL UNDISTURBED AREA = 20,124 SF

CUT/FILL QUANTITIES

CUT - 200 CY
FILL - 1300 CY
NET - FILL 1100 CY
LOT COVERAGE - 13.0%

SHEET INDEX

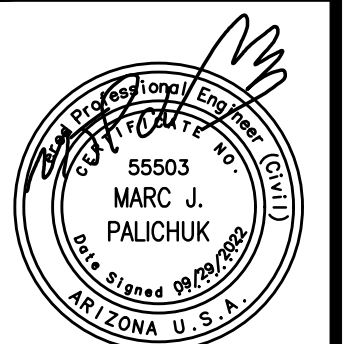
SHEET 1 - COVER SHEET
SHEET 2 - GRADING AND DRAINAGE PLAN
SHEET 3 - GRADING AND DRAINAGE SECTIONS
SHEET 4 - EROSION CONTROL PLAN
SHEET 5 - EROSION CONTROL DETAILS

ENGINEERS NOTES:

1. LOCATION OF UTILITIES SHOWN ARE TAKEN FROM AVAILABLE RECORDS AND MAY BE APPROXIMATE.
THEREFORE, WITHOUT CONDUCTING ADDITIONAL INQUIRY OR INVESTIGATION, NO GUARANTEE CAN BE MADE AS
TO THE EXTENT OF THE UTILITIES AVAILABLE EITHER IN SERVICE OR ABANDON, NOR TO THEIR EXACT
LOCATION AND DEPTH. PLEASE CALL BLUSTAKE AT 602-263-1100 FOR UTILITY LOCATION BEFORE YOU DIG.
2. NO WORK WILL BE PERFORMED IN DRAINAGE EASEMENTS.
3. THIS PLAN USES MAG STD. DETAILS 2015 EDITION WITH 2022 UPDATES.
4. THE ENGINEER IS NOT RESPONSIBLE FOR SOIL CONDITIONS.

DATE: _____
REVISIONS: _____

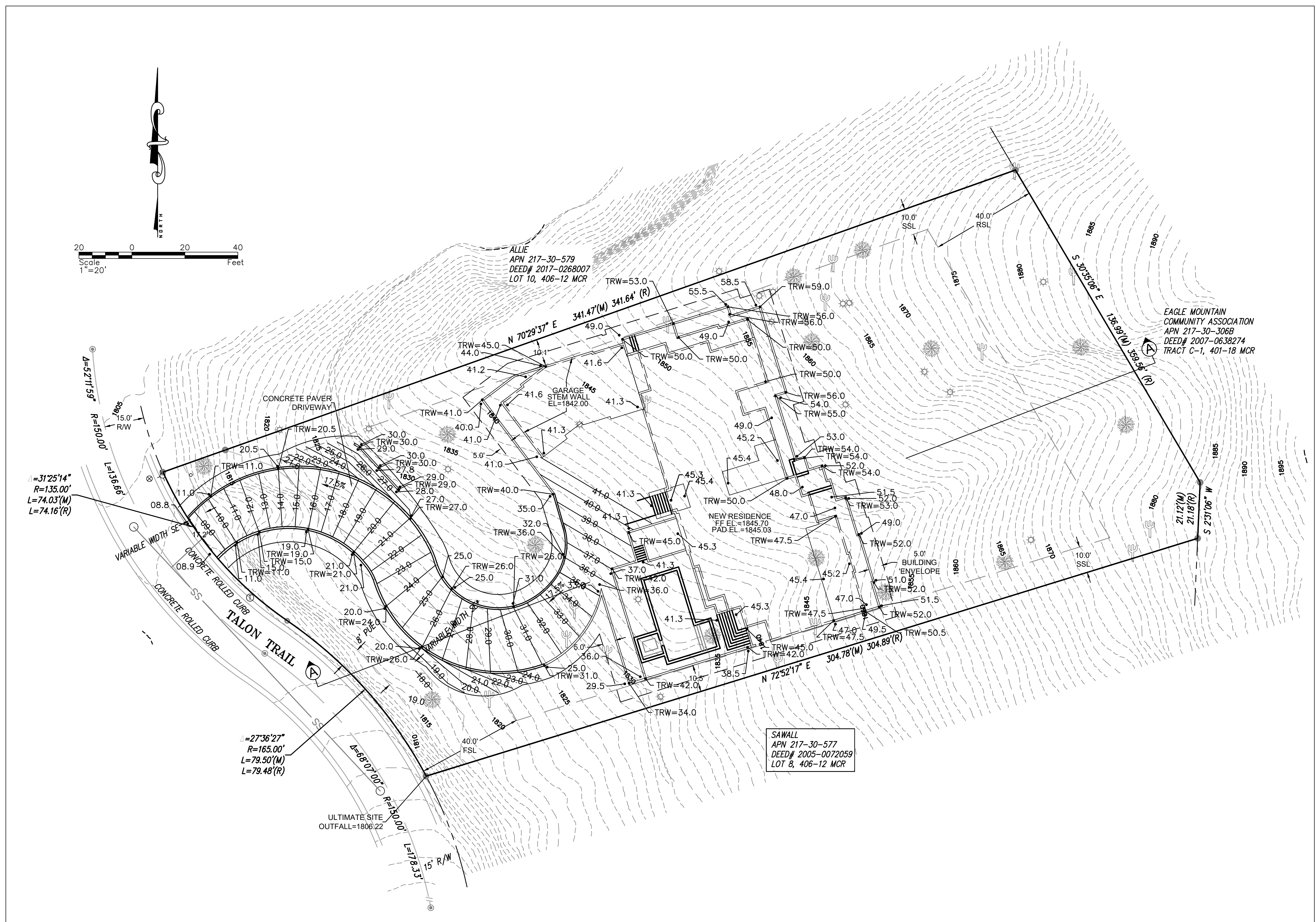
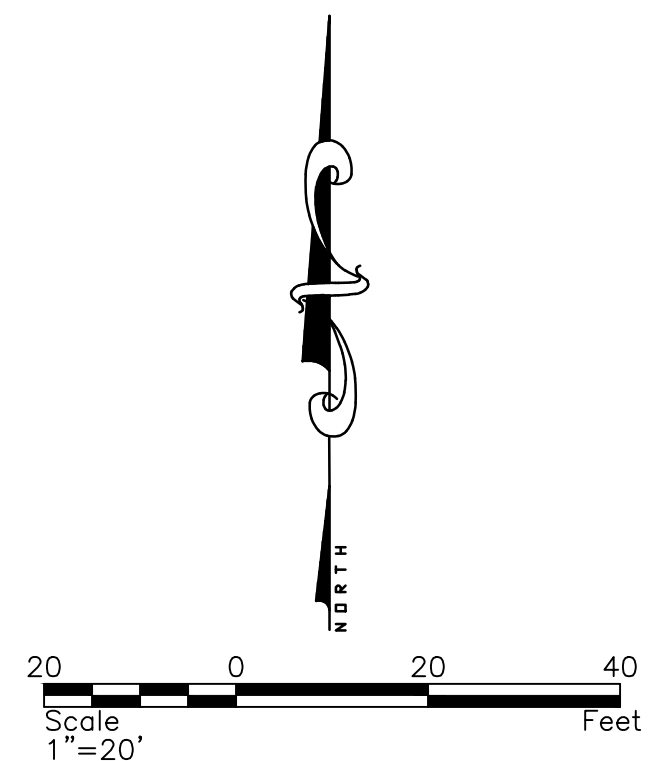
POVINELLI RESIDENCE
GRADING AND DRAINAGE PLAN
9505 N. TALON TRAIL FOUNTAIN HILLS, ARIZONA 85268



FILE NO.
POVINELLI GD

JOB NUMBER
TME2022-118

SHEET NO.
1 OF 5



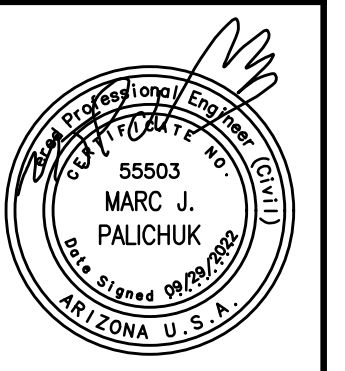
LEGEND:

- | | |
|--------|--------------------------|
| BSL | BUILDING SETBACK LINE |
| FF | FINISH FLOOR |
| TBM | TEMPORARY BENCHMARK |
| S | SEWER |
| W | WATER |
| G | GAS |
| P | POWER |
| | DRAINAGE FLOW ARROWS |
| — 31.5 | PROPOSED GRADE |
| — W | PROPOSED WATER |
| — S | PROPOSED SEWER |
| — G | PROPOSED GAS |
| — P | PROPOSED POWER |
| — SS | EXISTING SEWER |
| — 8" W | EXISTING WATER |
| — 2750 | EXISTING CONTOUR |
| — 97 | PROPOSED CONTOUR |
| PUE | PUBLIC UTILITY EASEMENT |
| R/W | ROADWAY EASEMENT |
| BSL | BUILDING SETBACK LINE |
| MCR | MARICOPA COUNTY RECORDER |
| MCA | MARICOPA COUNTY ASSESSOR |
| CMU | CONCRETE MASONRY UNIT |
| DE | DRAINAGE EASEMENT |
| SE | SLOPE EASEMENT |
| (M) | MEASURED |
| (R) | RECORD PER PLAT |
| * | APPROXIMATE LOCATION |
| --- | EASEMENT LINE |
| --- | P.U.E. EASEMENT LINE |
| --- | MONUMENT LINE |
| --- | PROPERTY LINE |
| --- | ADJOINING LOT LINE |
| ⊕ | TELCOM |
| ⊙ | SEWER MANHOLE |
| ⊕ | FIRE HYDRANT |
| ⊕ | WATER VALVE |
| ⊕ | MISC CONDUIT |
| ⊕ | PALO VERDE |
| ⊕ | BARREL CACTUS |
| ⊕ | SAGUARO |

REVISIONS: DATE

POVINELLI RESIDENCE
GRADING AND DRAINAGE PLAN

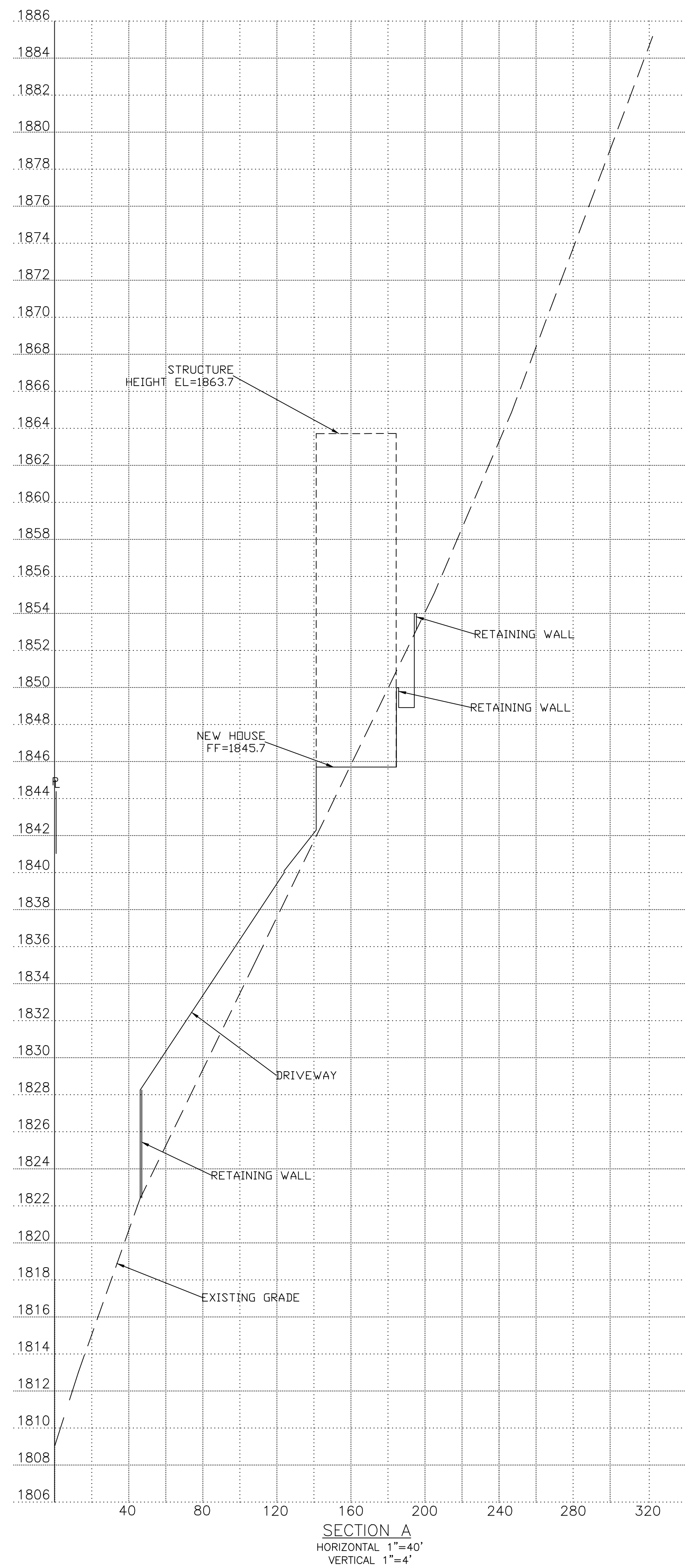
9505 N. TALON TRAIL FOUNTAIN HILLS, ARIZONA 85268



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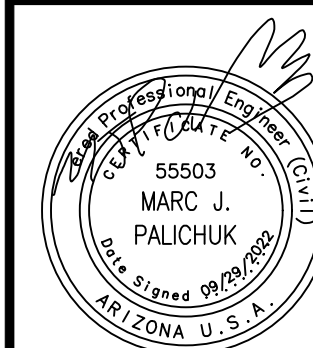
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TME2022-118

SHEET NO.
2 OF 5



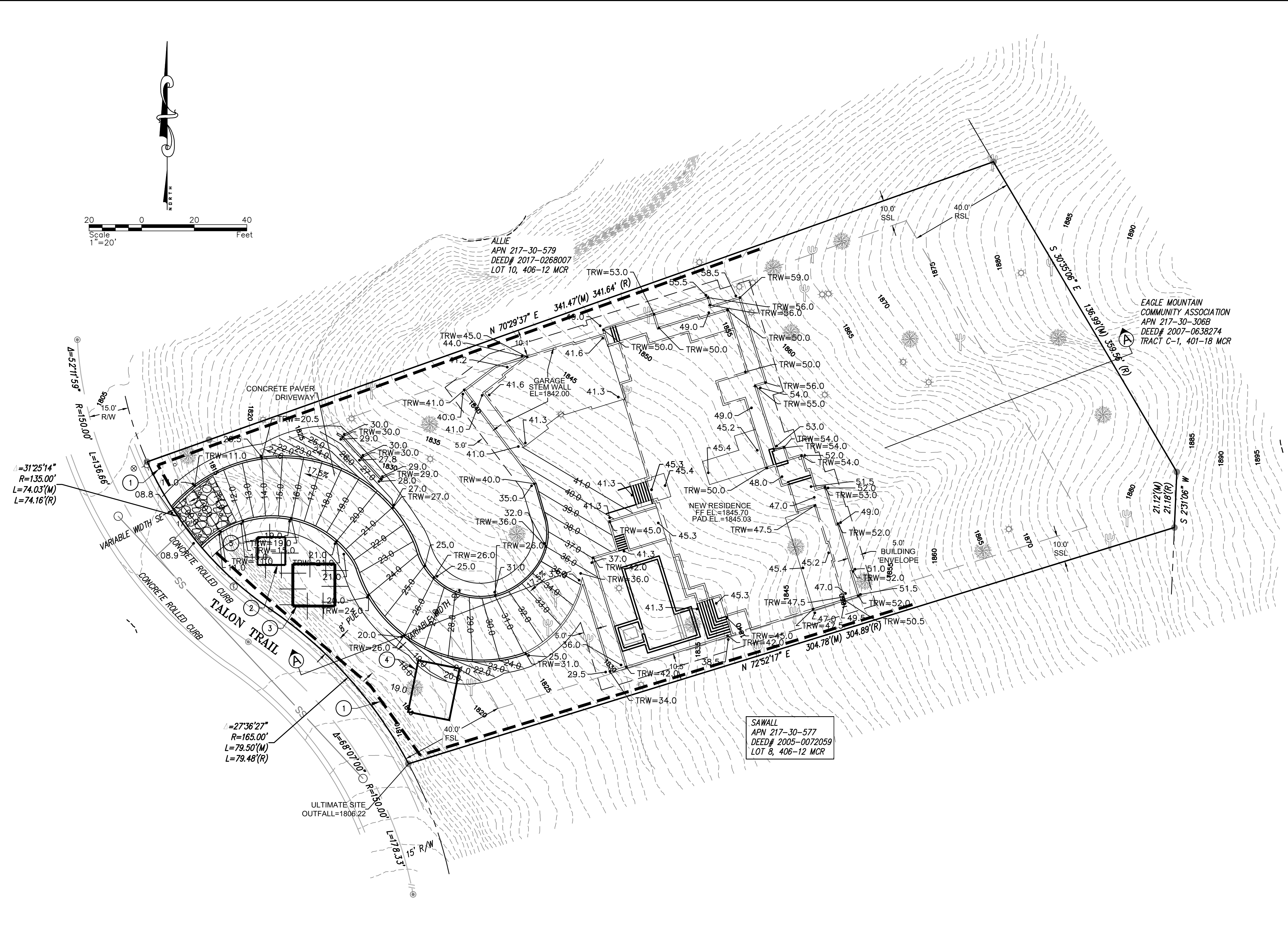
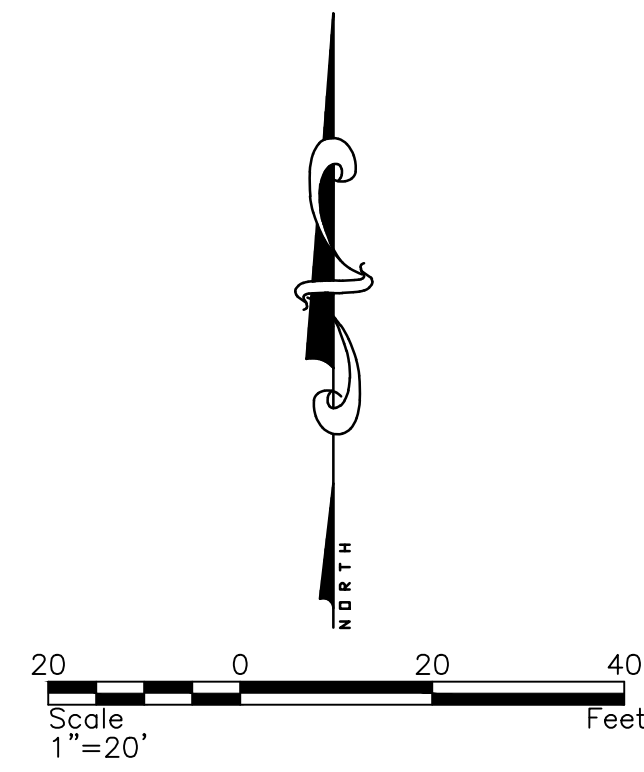
REVISIONS: DATE

POVINELLI RESIDENCE
 GRADING AND DRAINAGE SECTIONS
 9505 N. TALON TRAIL FOUNTAIN HILLS, ARIZONA 85268



FILE NO.
 POVINELLI GD
 JOB NUMBER
 TME2022-118

SHEET NO.
3 OF 5



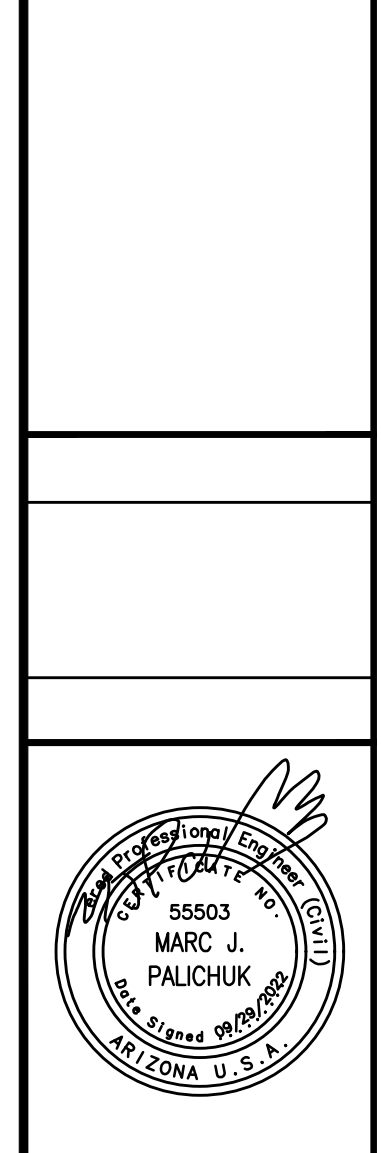
- ① INSTALL SPC-5, SILT FENCE. SEE DETAIL SHEET 4 OF 4.
- ② INSTALL EC-5, STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL SHEET 4 OF 4.
- ③ INSTALL CONCRETE WASHOUT AREA. SEE DETAIL SHEET 4 OF 4.
- ④ DUMPSTER LOCATION.
- ⑤ INSTALL PAINT AND SOLVENT WASHOUT AREA. SEE DETAIL SHEET 4 OF 4.

TOWN OF FOUNTAIN HILLS NOTES

- Erosion and Sediment Control Plan General Notes:
- 1.0 If deemed required per ADEQ requirements, a Notice of Intent (NOI) for coverage under the Construction Activity General Permit (CGP) shall be submitted to ADEQ prior to commencing land development or grading activities.
 - 2.0 Contractor/Owner shall notify the Town Inspector 24 hours prior to commencing any land development or grading activities.
 - 3.0 A copy of the approved Grading and Drainage site plan, NOI approval number and permit, the ESCP and the SWPPP shall be maintained on site and available for review by the Town Inspector, Representative or ADEQ.
 - 4.0 When a NOI is required: The Contractor shall prepare a Storm Water Pollution Prevention Plan (a written policies and procedures manual in accordance with ADEQ) in conjunction with the ESCP for the project. To be accessed on-site at the request of ADEQ.
 - 5.0 Contractor/Owner shall post a sign or other notice near the main entrance of the construction site with the AZPDES authorization number for the project, a copy of the NOI, description of the type of project and the name and contact information.
 - 6.0 Contractor/Owner shall at minimum perform a visual inspection of the construction site once every fourteen (14) days. Also within 24 hours of a rainfall event greater than or equal to half an inch. Contractor/Owner shall prepare an inspection log documenting findings. Operator's report shall be made available onsite at the Town's or ADEQ's request. Erosion control facilities shall be maintained or repaired as necessary to ensure functionality throughout the duration of the completion of the project.
 - 7.0 Contractor/Owner shall maintain compliance with all requirements outlined in the Arizona Pollutant Discharge Elimination System (AZPDES) Construction General Permit administered by ADEQ.
 - 8.0 Facilities shown on this ESCP must be constructed in conjunction with all clearing and grading activities in such a manner as to ensure that sediment laden water and construction contamination does not enter the drainage system/washes or violate ADEQ SWPP requirements. BMPs must be installed and in operation prior to any grading or clearing and grubbing is performed.
 - 9.0 Contractor/Owner shall submit a Notice of Termination (NOT) following completion of construction and permanent stabilization as outlined in the AZPDES Construction General Permit administered by ADEQ.
 - 10.0 Contractor/Owner shall obtain a Dust Control Permit from Maricopa County Air Quality Department for all dust generating activities that disturb a 0.10 acre or greater and implement all applicable control measures as outlined in Maricopa County Air Pollution Control Rule 310.
 - 11.0 The Contractor that will be obtaining the Grading and Drainage permit must have the NOI permit issued in their name prior to the Town issuing a Grading Permit.

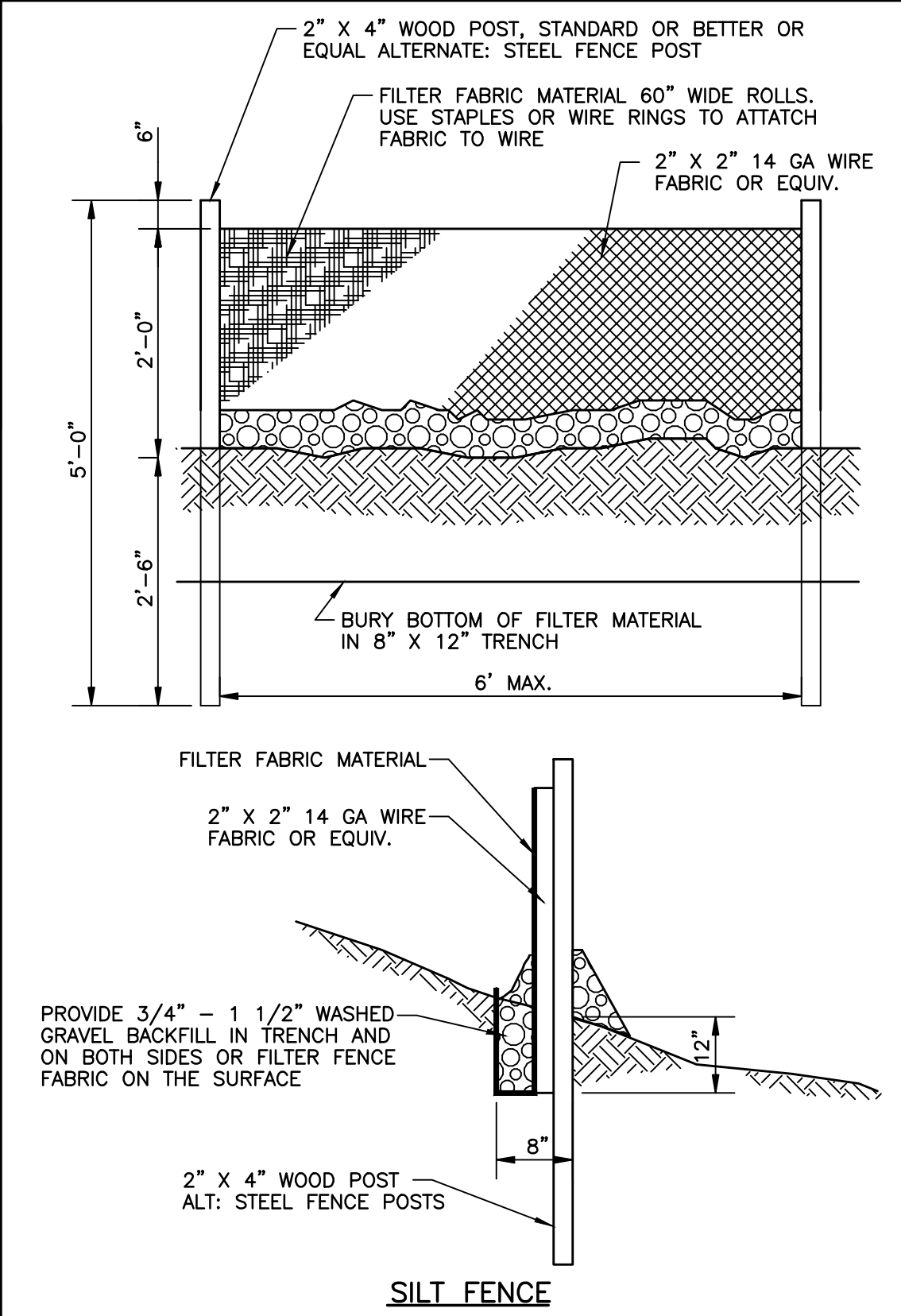
REVISIONS:	DATE

POVINELLI RESIDENCE
EROSION CONTROL PLAN
 9505 N. TALON TRAIL FOUNTAIN HILLS, ARIZONA 85268

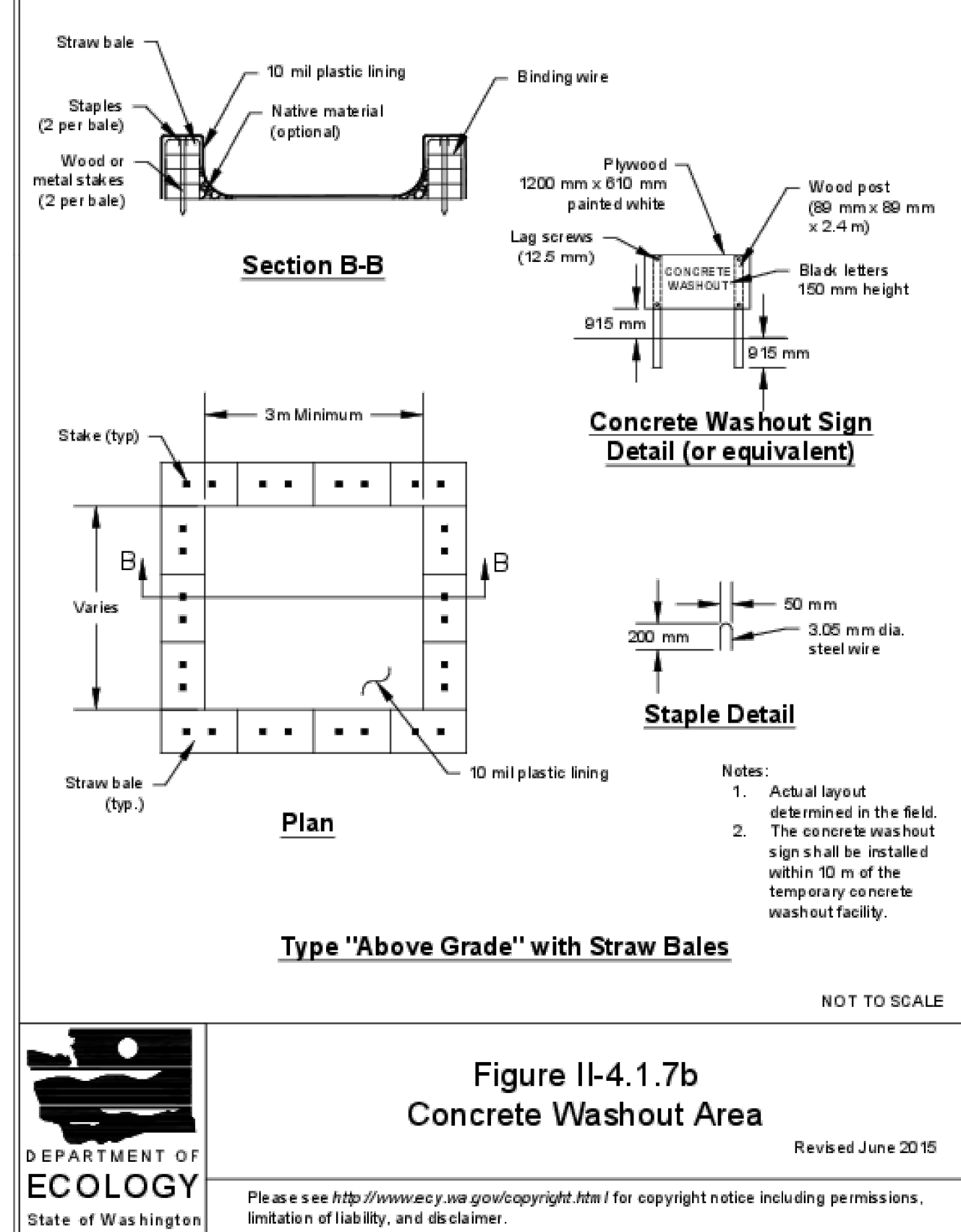
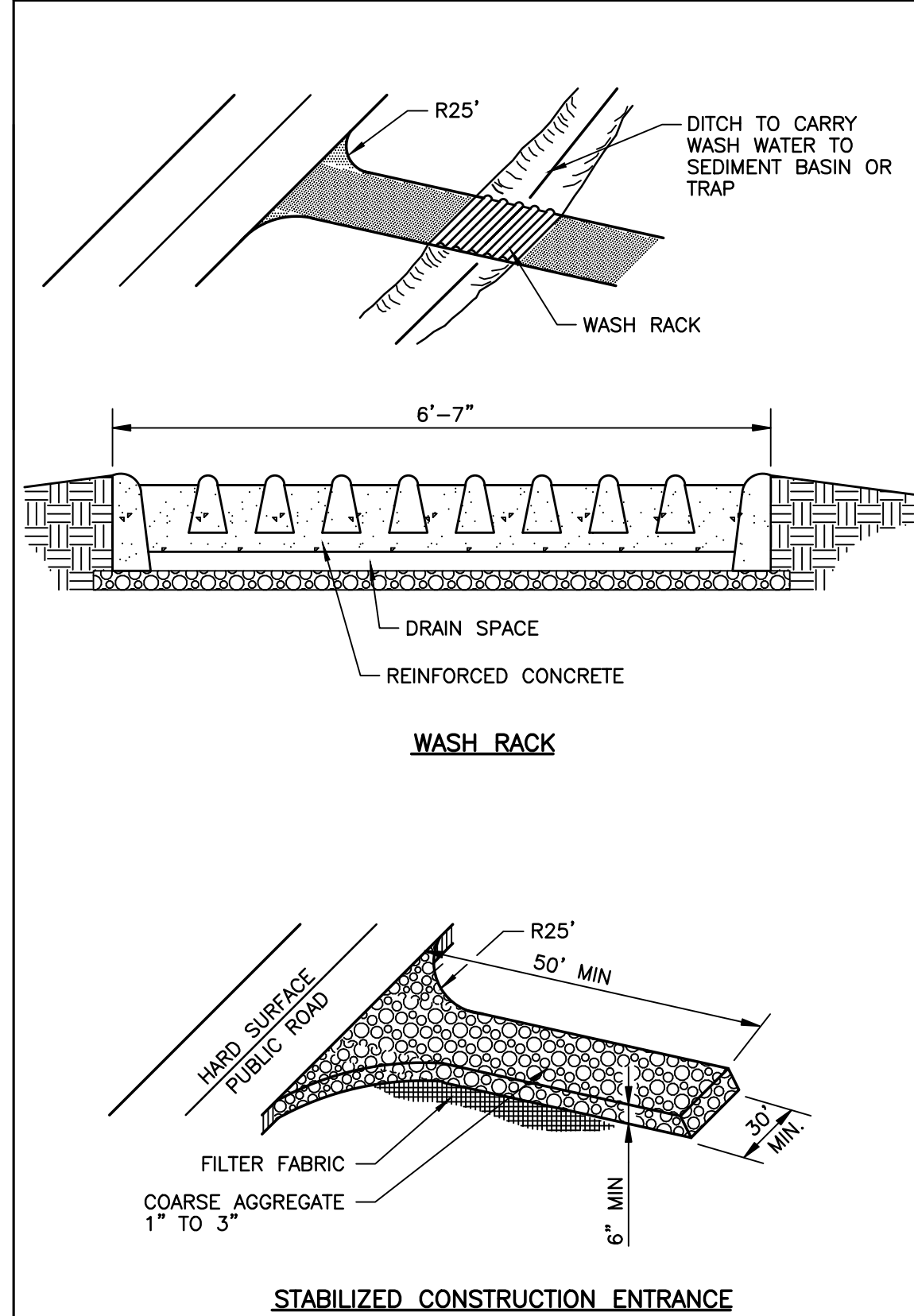


FILE NO.
POVINELLI GD
 JOB NUMBER
TME2022-118

SPC-5 Silt Fence

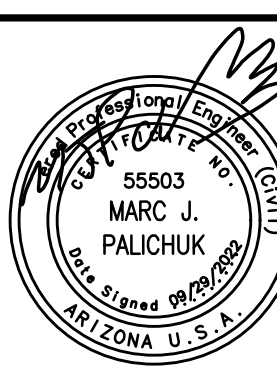


EC-5 Stabilized Construction Entrance



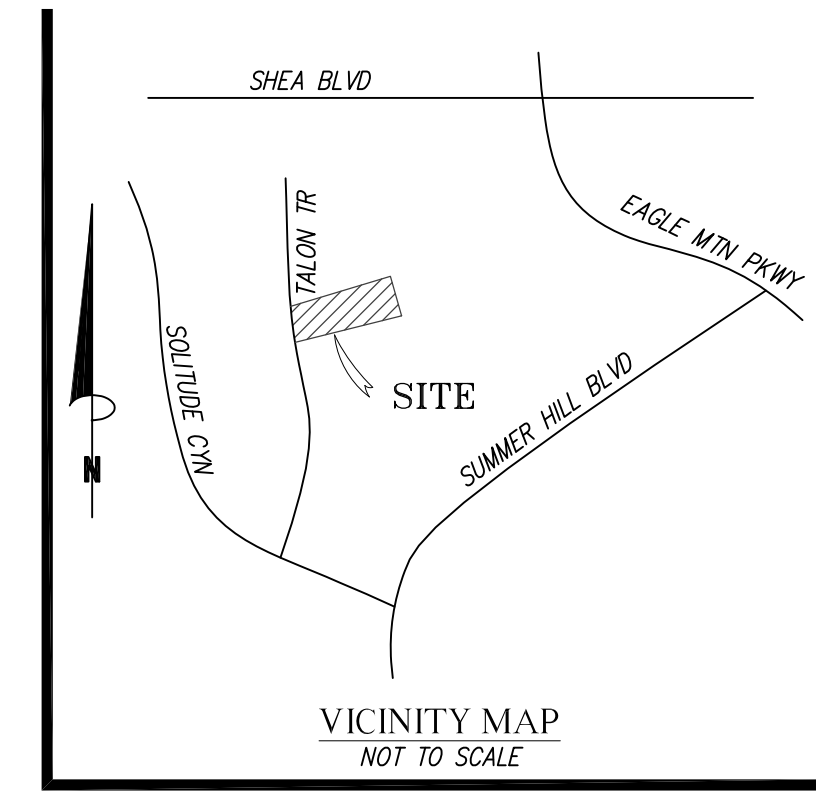
REVISIONS:

POVINELLI RESIDENCE
EROSION CONTROL DETAILS
 9505 N. TALON TRAIL FOUNTAIN HILLS, ARIZONA 85268



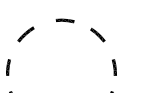


FILE NO.
POVINELLI GD
 JOB NUMBER
TME2022-118

SHEET NO.
5 OF 4



SYMBOL LEGEND

- #46  TREE TO REMAIN
- #69  TREE TO BE RELOCATED
- #6  TREE TO BE REMOVED

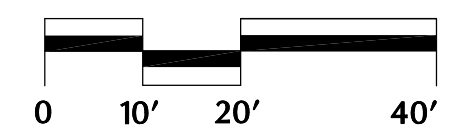
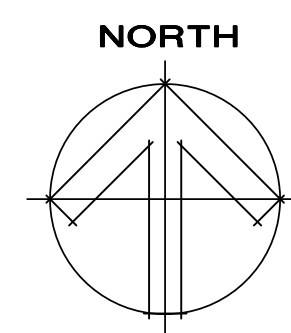
TREES HAVE BEEN TAGGED IN THE FIELD PRIOR TO SUBMITTAL

EXISTING TREE LEGEND

TAG #	TAG COLOR	DISCRIPTION	CALIPER	CANOPY	CONDITION	INVENTORY DESIGNATION	INTENDED DESIGNATION	REMARK
1	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
2	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	1'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
3	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	1'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
4	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2.5'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
5	WHITE	PARKINSONIA MICROPHYLLUM 8" FOOTHILL PALO VERDE	8"	10'Hx 15'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
6	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2.5'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
7	WHITE	PARKINSONIA MICROPHYLLUM 8" FOOTHILL PALO VERDE	8"	10'Hx 10'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
8	WHITE	PARKINSONIA MICROPHYLLUM 6" FOOTHILL PALO VERDE	6"	8'Hx 10'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
9	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
10	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2.5'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
11	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2.5'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
12	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	6'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
13	RED	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	1.5'H	GOOD	SALVAGEABLE	SALVAGE	
14	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	5'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
15	BLUE	PARKINSONIA MICROPHYLLUM (2) 6" FOOTHILL PALO VERDE	6"	10'Hx 20'W	POOR	NON - SALVAGEABLE	DESTROY	NOT BOXABLE ON SIDE OF WASH
16	RED	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	(2) 2'H	GOOD	SALVAGEABLE	SALVAGE	
17	BLUE	PARKINSONIA MICROPHYLLUM 8" FOOTHILL PALO VERDE	8"	10'Hx 20'W	POOR	NON - SALVAGEABLE	DESTROY	NOT BOXABLE ON SIDE OF WASH
18	WHITE	PARKINSONIA MICROPHYLLUM 6" FOOTHILL PALO VERDE	6"	10'Hx 10'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
19	WHITE	PARKINSONIA MICROPHYLLUM 4" FOOTHILL PALO VERDE	4"	10'Hx 8'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
20	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
21	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	4'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
22	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	

EXISTING TREE LEGEND

TAG #	TAG COLOR	DISCRIPTION	CALIPER	CANOPY	CONDITION	INVENTORY DESIGNATION	INTENDED DESIGNATION	REMARK
23	WHITE	PARKINSONIA MICROPHYLLUM 6" FOOTHILL PALO VERDE	6"	8'Hx 10'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
24	WHITE	PARKINSONIA MICROPHYLLUM 6" FOOTHILL PALO VERDE	6"	10'Hx 10'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
25	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	(2)3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
26	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	5'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
27	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	(2)3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
28	WHITE	PARKINSONIA MICROPHYLLUM 6" FOOTHILL PALO VERDE	6"	10'Hx 8'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
29	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	(2)2'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
30	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
31	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
32	WHITE	PARKINSONIA MICROPHYLLUM 4" FOOTHILL PALO VERDE	4"	8'Hx 10'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
33	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
34	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	(2)3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
35	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
36	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
37	WHITE	PARKINSONIA MICROPHYLLUM 4" FOOTHILL PALO VERDE	4"	8'Hx8'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
38	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
39	WHITE	PARKINSONIA MICROPHYLLUM 4" FOOTHILL PALO VERDE	4"	8'Hx8'W	GOOD	SALVAGEABLE	REMAIN IN PLACE	
40	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2.5'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
41	WHITE	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	REMAIN IN PLACE	
42	RED	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	SALVAGE	
43	RED	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	2'H	GOOD	SALVAGEABLE	SALVAGE	
44	RED	FEROCACTUS WISLIZENI FISHOOK BARREL CACTUS	N/A	3'H	GOOD	SALVAGEABLE	SALVAGE	



NATIVE PLANT SURVEY

biltform
landscape
architecture

biltform landscape architecture group, inc.

11460 North Cave Creek Rd. suite 6
phoenix, arizona 85020
Phone 602.285.9200 Fax 602.285.9229
email: dave@biltform.com



Native Plant Survey
9805 TALON TRAIL, FOUNTAIN HILLS, AZ. 85268
Patterson Homes AZ, LLC

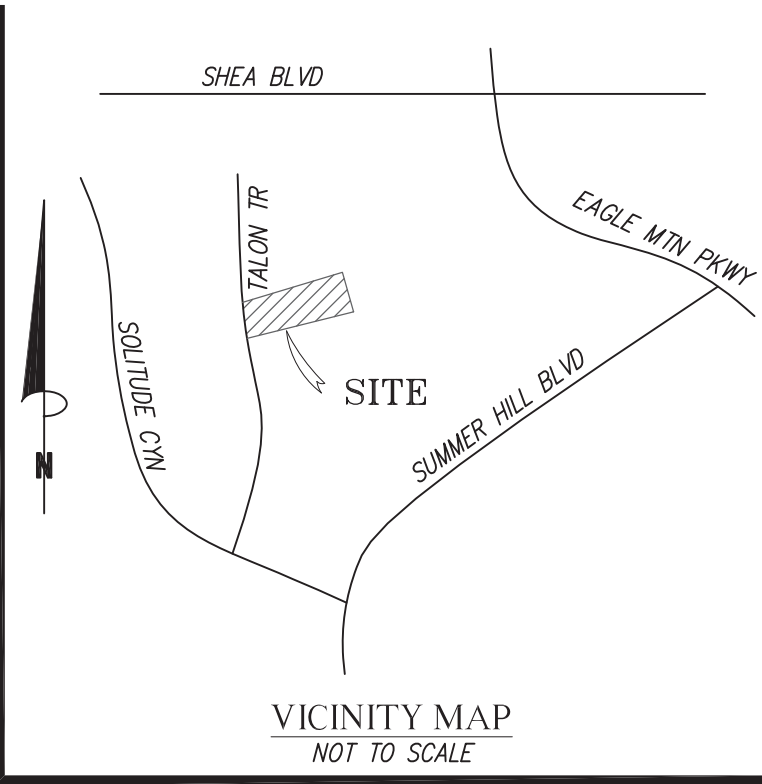
PROJECT NAME:
PROJECT OWNER:
PHONE: (602) xxxx
FAX: (602) xxxx

REVISIONS:

JOB NO: 22-042L
DATE: July 21, 2022
SCALE: 1" = 20'-0"
SHEET NO:

NP 1.1

1 of 1
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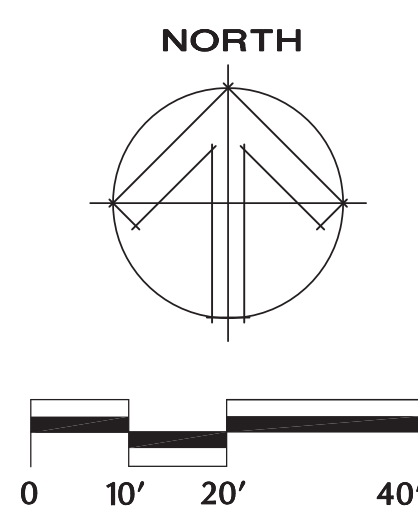


biltform landscape architecture group, inc.
 11460 North Cave Creek Rd. suite 6
 phoenix, arizona 85020
 Phone 602.285.9200 Fax 602.285.9229
 email: dave@biltform.com



PLANT LEGEND

TREES	SIZE	QTY
<i>Parkinsonia florida</i> Blue Palo Verde	36" Box Double Stake	2
SHRUBS	SIZE	QTY
<i>Encellia farinosa</i> Brittle Bush	5 Gallon	6
<i>Larrea tridentata</i> Creosote Bush	5 Gallon	5
<i>Ferocactus wislizeni</i> Barrel Cactus	From Salvage	5



REVISIONS:

△	-
△	-
△	-
△	-
△	-

JOB NO: 22-042L
 DATE: October 7, 2022
 SCALE: 1" = 20'-0"
 SHEET NO:

Landscape Plan
 9805 TALON TRAIL, FOUNTAIN HILLS, AZ. 85268
Patterson Homes AZ, LLC
 PROJECT NAME:
 PROJECT OWNER:
 PHONE: (602) xxxxx
 FAX: (602) xxxxx